

Public Document Pack



PLANNING COMMITTEE

Tuesday, 24th July, 2012 at 7.30 pm
Venue: Conference Room
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

Contact: Jane Creer/Metin Halil
Committee Administrator
Direct : 020-8379- 4093/4091
Tel: 020-8379-1000
Ext: 4093
Fax: 020-8379-4455
Textphone: 020 8379 4419
E-mail: jane.creer@enfield.gov.uk
Metin.halil@enfield.gov.uk
Council website: www.enfield.gov.uk

MEMBERS

Councillors : Andreas Constantinides (Chairman), Ali Bakir, Lee Chamberlain, Ingrid Cranfield, Don Delman, Christiana During, Patricia Ekechi, Ahmet Hasan, Ertan Hurer, Nneka Keazor, Paul McCannah, Anne-Marie Pearce, Martin Prescott, George Savva MBE and Toby Simon

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7.15pm.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 23/07/12.

AGENDA – PART 1

- 1. WELCOME AND LEGAL STATEMENT**
- 2. APOLOGIES FOR ABSENCE**
- 3. DECLARATION OF INTERESTS**

Members of the Council are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

- 4. MINUTES OF PLANNING COMMITTEE 26 JUNE 2012 (Pages 1 - 16)**

To receive the minutes of Planning Committee meeting held on Tuesday 26 June 2012.

5. REPORT OF THE ASSISTANT DIRECTOR, PLANNING AND ENVIRONMENTAL PROTECTION (REPORT NO.60) (Pages 17 - 18)

To receive the covering report of the Assistant Director, Planning and Environmental Protection.

5.1 Applications dealt with under delegated powers.
(A copy is available in the Members' Library)

6. P12-00842PLA - 90, THE MALL, LONDON, N14 6LP (Pages 19 - 28)

RECOMMENDATION: Approval Subject to Conditions.
WARD: Southgate Green

7. P12-010070PLA - CHICKEN SHED THEATRE, 290 CHASE SIDE, LONDON N14 4PE (Pages 29 - 36)

RECOMMENDATION: Approval subject to conditions.
WARD: Cockfosters.

8. P12-01078PLA - 46 BURFORD GARDENS, LONDON N13 4LP (Pages 37 - 44)

RECOMMENDATION: Approval subject to conditions
WARD: Winchmore Hill

9. P12-01223PLA - 16, THE GRANGEWAY, LONDON, N21 2HA (Pages 45 - 56)

RECOMMENDATION: Refusal
WARD: Grange

10. P12-01230PLA - CHURCHFIELD PRIMARY SCHOOL, LATYMER ROAD, LONDON, N9. (Pages 57 - 66)

RECOMMENDATION: Approval subject to conditions
WARD: Haselbury

11. P12-01298PLA - GRANGE PARK PRIMARY SCHOOL, WORLDS END LANE, LONDON, N21 1PP (Pages 67 - 76)

RECOMMENDATION: Approval subject to conditions.
WARD: Highlands

12. P12-01307LDC - 4 KIMBERLEY ROAD, LONDON, N18 2DP (Pages 77 - 84)

RECOMMENDATION: Approval of LDC
WARD: Upper Edmonton

13. P12-01371LDC - 205, FIRS LANE, LONDON N21 3HY (Pages 85 - 90)

RECOMMENDATION: Approval of LDC.

WARD: Winchmore Hill

14. P12-01395PLA - RAYNHAM PRIMARY SCHOOL, RAYNHAM AVENUE, LONDON N18 2JQ. (Pages 91 - 102)

RECOMMENDATION: Approval subject to conditions.

WARD: Upper Edmonton

15. TP/11/1602 - 1, HANSART WAY, ENFIELD, EN2 8NB. (Pages 103 - 128)

RECOMMENDATION: Approval subject to conditions and S106 completion.

WARD: Highlands

16. APPEAL INFORMATION (Pages 129 - 130)

Monthly Decisions on Town Planning Application Appeals.

17. GO APE, TRENT PARK, COCKFOSTERS;ASSESSMENT OF GROUNDS FOR POSSIBLE ENFORCEMENT ACTION (REPORT NO.61) (To Follow)

NB Due to ongoing legal consultations in connection with the ongoing Judicial Review into the Council's decision to grant conditional planning permission, it has not been possible to finalise the intended report.

18. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).

(There is no part 2 agenda)

This page is intentionally left blank

PLANNING COMMITTEE - 26.6.2012**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 26 JUNE 2012****COUNCILLORS**

PRESENT Andreas Constantinides, Ali Bakir, Lee Chamberlain, Ingrid Cranfield, Dogan Delman, Christiana During, Patricia Ekechi, Ahmet Hasan, Ertan Hurer, Nneka Keazor, Anne-Marie Pearce, Martin Prescott, George Savva MBE and Toby Simon

ABSENT Paul McCannah

OFFICERS: Izabella Grogan (Legal Services Representative), Andy Higham (Planning Decisions Manager), Steve Jaggard (Traffic & Transportation) and Aled Richards (Head of Development Management) Jane Creer (Secretary)

Also Attending: Tony Dey, Vice Chairman, Conservation Advisory Committee
Councillor Del Goddard, Cabinet Member for Business & Regeneration
Approximately 30 members of the public, applicants, agents and their representatives and observers
Ward Councillors: Councillor Jon Kaye

44**WELCOME AND LEGAL STATEMENT**

The Chairman welcomed everyone to the meeting, and the Legal Services representative read a statement regarding the order and conduct of the meeting.

45**APOLOGIES FOR ABSENCE**

Apologies for absence were received from Councillor McCannah.

46**DECLARATION OF INTERESTS**

NOTED that Councillor Prescott declared a personal interest in application ref P12-00318PLA – 33-35, Fox Lane, London, N13 4AB, as he was a member of the Fox Lane and District Residents' Association.

47**MINUTES OF PLANNING COMMITTEE 29 MAY 2012**

AGREED the minutes of the Planning Committee held on Tuesday 29 May 2012 as a correct record.

PLANNING COMMITTEE - 26.6.2012

48

REPORT OF THE ASSISTANT DIRECTOR, PLANNING AND ENVIRONMENTAL PROTECTION (REPORT NO. 021)

RECEIVED the report of the Assistant Director, Planning and Environmental Protection (Report No. 021).

49

ORDER OF AGENDA

AGREED that the order of the agenda be varied to accommodate members of the public in attendance at the meeting. The minutes follow the order of the meeting.

50

P12-00318PLA - 33-35, FOX LANE, LONDON, N13 4AB

NOTED

1. Introduction by the Planning Decisions Manager, clarifying the application and the location of the property and that it was within the Lakes Estate Conservation Area, and highlighting differences from the previous refused application.
2. Apologies were given that in para 4.2 of the report points attributed to the Fox Lane and District Residents' Association had been made by the Lakes Estate Conservation Area Study Group, and vice versa.
3. The Lakes Estate Conservation Area Study Group had raised additional concerns on parking grounds, and particularly the application for dropped kerbs and cross-overs for two off road parking areas which it considered would not maintain or enhance the character and appearance of the conservation area.
4. The deputation of Mr Andy Barker (Chairman, Fox Lane and District Residents' Association), including the following points:
 - a. The main concerns were that this property was already overdeveloped and the addition of bedrooms in the loft space would be overdevelopment.
 - b. The property would have 23 bedrooms and 4 full-time and 10 part-time staff, but there was no indication of the number of residents and this should be clarified.
 - c. There would be a large number of people in a property that started as a single family home who would add to the area's population.
 - d. Amenity space was limited.
 - e. There were safety concerns as there was only one escape route from the loft; residents may be infirm and a dangerous situation may arise. The Care Quality Commission review of May 2012 did not comment on the safety of residents, and he questioned who was responsible for this issue.

PLANNING COMMITTEE - 26.6.2012

- f. There should be no lift gear above the roof line and this should be a condition of any planning permission.
 - g. The 2 dropped kerbs should be rejected, and the wall and garden should be reinstated, which would improve the appearance of the area.
 - h. This was unnecessary overdevelopment in a road where there were already too many care homes and houses in multiple occupation.
5. The response of Mr Anthony Byrne of Anthony Byrne Associates (the Agent), including the following points:
- a. The proposals had been designed with the assistance of Planning officers and the Conservation Department and included traditional and accurate features with appropriate scaling and materials. The design met all relevant criteria.
 - b. Nine specialist reports had been submitted to support the application.
 - c. The perception of overdevelopment was subjective; this would be 5 bedrooms in a vast empty loft space of 2 former houses, and a single storey rear extension and conservatory on the ground floor.
 - d. The windows and conservatory would be constructed with timber not uPVC.
 - e. The maximum garden space had been preserved and would be landscaped.
 - f. The exits complied fully with regulations.
 - g. The report showed that there would be no impact on 31 Fox Lane.
6. The statement of Mr Tony Dey, Vice Chairman of Conservation Advisory Group (CAG) to confirm that CAG considered the proposals to be overdevelopment. The off street parking areas would not maintain or enhance the conservation area and he would ask the Committee to look at this aspect of the application. This was an important corner site on Fox Lane, and not reinstating the wall and garden to the front would have a detrimental effect. If the Committee were minded to approve the application he would like a condition to be added that there be no lift gear above the roof line.
7. Members' concerns in respect of the visual effect of a potential projection of the proposed lift shaft above the roof line even though not shown. In response, it was agreed to impose a further condition stating that the lift shaft should not project above the roof line.
8. The Planning Decisions Manager responded to Members' queries regarding building regulations, and existing parking and means of access.
9. Members' debate and discussion regarding the acceptability of the hard standing and vehicular crossovers, and the further advice of Planning and Traffic & Transportation officers in respect of this aspect of the application, and confirmation that if the 4 parking spaces could not be provided then the planning permission could not be implemented. No further action on the hard standing was considered necessary.

PLANNING COMMITTEE - 26.6.2012

10. The support of the majority of the Committee for the officers' recommendation: 8 votes for and 5 against.

AGREED that subject to the completion of the Section 106 agreement to secure a travel plan and £3,000 toward Travel Plan monitoring costs, the Head of Development Management / Planning Decisions Manager be authorised to grant planning permission, subject to the conditions set out in the report and additional condition below, for the reasons set out in the report.

Additional Condition

No part of the proposed lift shaft forming including any ancillary equipment housing, shall project above any plane of the resultant roof of the building. Reason: in the interests of safeguarding the character and appearance of the Conservation Area as well as the setting and appearance of the building in the surrounding area.

51

TP/11/1602 - 1, HANSART WAY, ENFIELD, EN2 8NB

NOTED

1. Introduction by the Planning Decisions Manager, clarifying the site and application.
2. Receipt of one further letter of objection from residents of Hardy Way, illustrated by photos and distributed to all Committee Members. Concerns raised included overlooking, loss of privacy, out of keeping with the area, dominating on the skyline, setting a precedent, destruction of valuable trees, effect on children, increased traffic, inadequate parking and adding to strain on services.
3. An apology that the reference to Councillor Vince at para 4.2.2 was incorrect and should have referred to Councillor Pearce who had requested that the application be reported to Planning Committee in the light of residents' concerns.
4. Inclusion of stopping up referred to at para 6.47 into the Section 106 Agreement.
5. The Chairman's confirmation that as deputations had been requested on behalf of two groups with different interests, he proposed to permit 4 minutes' speaking time to each group.
6. The deputation of Mr Andy Corgan, on behalf of residents of Hardy Way, including the following points:
 - a. The height of the blocks would be increased by 37%. They would show above the existing tree line, and at the closest point would be only 17 metres from Hardy Way bungalows.

PLANNING COMMITTEE - 26.6.2012

- b. Residents of the flats would be able to see directly into rooms of Hardy Way properties. Even frosted balconies were not considered acceptable.
 - c. There were serious concerns about safety and security of children who would be overlooked in their gardens.
 - d. The development would be an eyesore and a huge monstrosity which may be seen from as far away as Trent Park, and its approval would set a precedent.
 - e. The development would block light, as acknowledged in the report.
 - f. More vehicles would add to congestion and noise.
 - g. Parking already exceeded demand and there would be overspill parking to The Ridgeway, leading to narrowing of that important road, and having an effect on Chase Farm Hospital access.
 - h. Density of the population would be too high, and there would be an unnecessary strain on local services.
 - i. The development would require the destruction of valuable trees which were important for local ecology.
7. The deputation of Ms Tracey Tarpey on behalf of the Directors of Hansart Way (Management) Limited, including the following points:
- a. Hansart Way Management Limited and leaseholders of Hansart Way had held a meeting and the majority had concerns regarding the application. They feared the unknown and what effect the proposals could have on the buildings and the footings. There were too many unanswered questions and they felt unable to support the proposals.
 - b. There were concerns regarding the proposed steel structure and vibrations which may be detrimental to the buildings. A car crash in 2008 had shaken the building for almost 5 minutes and it was feared that drilling steel into the ground and the installation of lifts could cause damage.
 - c. Running cables through the floors could cause damage and loss of power to flats.
 - d. There would be an increase in noise from the lifts, which would particularly affect the internal flats. The buildings dated from the 1960s when soundproofing was poorer.
 - e. Loss of a number of mature trees was unacceptable. This would be detrimental to the wildlife in the area and it would take many years for replacement trees to reach maturity.
 - f. There would be loss of a public footpath to create parking space, which would affect the public and put them at risk.
8. The statement of Councillor Jon Kaye, Highlands Ward Councillor, including the following points:
- a. The development would be very intrusive, especially for residents of Hardy Way. This would be a higher block than any other in the area.
 - b. There had been a number of objections from people who lived in this block at 1, Hansart Way.
 - c. Adding an additional storey would make this a huge eyesore which if the trees were removed would be appalling where it backed onto Hardy Way, where there were bungalows very close by.

PLANNING COMMITTEE - 26.6.2012

- d. The balconies proposed for all flats would lead to a huge loss of privacy as they would look down onto Hardy Way homes and gardens.
 - e. There would be a loss of greenery and it would not be possible to replace the mature trees which acted as a screen at the moment.
 - f. The development would make a huge difference to the area and the receipt of 32 objections was proof that a lot of people were concerned.
- 9. The applicant declined to speak in response.
 - 10. The response of the Planning Decisions Manager to Members' concerns regarding overlooking.
 - 11. Councillor Hurer's proposal, seconded by Councillor Chamberlain, that a Members' site visit be arranged, supported by a majority of the Committee: 5 votes for, 2 against, and 6 abstentions.
 - 12. The Chairman's confirmation that as deputations had been heard at this meeting they would not be received again when the application was determined at a future meeting of the Committee.

AGREED that a decision on the application be deferred to allow Members to make a site visit.

Reason: in order for Members to see the relationships between the development and neighbouring properties, its presence in the wider area and the effect on trees within the curtilage.

52

P12-00862PLA - 9, MORSON ROAD, ENFIELD, EN3 4NQ

NOTED

- 1. The introduction by the Planning Decisions Manager
- 2. Receipt of letter from the Environment Agency raising no objection, and the response to a number of conditions the Environment Agency requested, the timing element of which could affect the delivery and implementation of the proposed scheme.
- 3. An alteration to the recommendation to enable resolution of timing constraints contained in the Environment Agency's conditions.
- 4. The Planning Decisions Manager responded to Members' queries including confirmation in respect of the land use designation, that the Lee Navigation site of special scientific interest was located adjacent, and that there had been extensive negotiations with the Environment Agency regarding flooding.
- 5. The unanimous support of the Committee for the officers' recommendation.

PLANNING COMMITTEE - 26.6.2012

AGREED that Members resolved to grant conditional planning permission but to defer final determination to Head of Development Management / Planning Decisions Manager to enable resolution of timing constraints contained in the Environment Agency's conditions.

53

P12-00940PLA - NORTH MIDDLESEX HOSPITAL, STERLING WAY, LONDON, N18 1QX

NOTED

1. The introduction by the Planning Decisions Manager.
2. Receipt of letters raising concerns, which were acknowledged by officers and Members, but were not planning considerations.
3. Additional conditions.
4. The unanimous support of the Committee for the officers' recommendation.

AGREED that planning permission be granted, subject to the conditions set out in the report, and the additional conditions below, for the reasons set out in the report.

Additional Conditions

1. Green Roofs

The development shall not commence until details of the biodiversity (green) roof(s) shall be submitted and approved in writing by the Local Planning Authority. The biodiversity (green) roof(s) shall be:

- a. Biodiversity based with extensive substrate base (depth 80-150mm);
- b. Sited in accordance with plan No. A543 / 2 / 2 / 1 hereby approved; and,
- c. Planted/seeded with an agreed mix of species within the first planting season following practical completion of the building works.

The biodiversity (green) roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape. Details shall include full ongoing management plan and maintenance strategy/schedule for the green/brown roof to be approved in writing by the Local Planning Authority.

Should, following further assessment, the biodiversity (green) roof(s) be found to be not suitable for the development: a revised scheme of green roof(s) shall be submitted and approved in writing by the Local Planning Authority, the details shall also include a response to sub-points a) to c) above. Details shall include full ongoing management plan and maintenance strategy/ schedule for the green/brown roof to be approved in writing by the Local Planning Authority.

PLANNING COMMITTEE - 26.6.2012

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policies 5.11 & 7.19 of the London Plan.

2. Energy Performance Certificate

Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

3. Energy Efficiency

The development shall not commence until a detailed 'Energy Statement' has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall provide for no less than 25% total CO₂ emissions arising from the operation of a development and its services over Part L of Building Regs 2010. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

4. Renewable Energy Provision

The renewable energy technologies (CHP and PV) as detailed within the 'Energy Strategy' shall be installed and operational prior to the first occupation of the development. The development shall not commence until details of the renewable energy technologies shall be submitted and approved in writing by the Local Planning Authority. The details shall include:

- a. The resulting scheme, together with any flue/stack details, machinery/apparatus location, specification and operational details;

PLANNING COMMITTEE - 26.6.2012

- b. A management plan and maintenance strategy/schedule for the operation of the technologies;
- c. A servicing plan including times, location, frequency, method (and any other details the Local Planning Authority deems necessary);
- d. (if applicable) A noise assessment and air-quality assessment regarding the operation of the technology; and

Should, following further assessment, the approved renewable energy option be found to be no-longer suitable a revised scheme of renewable energy provision shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site, the details shall also include a response to sub-points a) to d) above. The final agreed scheme shall be installed and operation prior to the first occupation of the development.

The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets by renewable energy are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

5. Energy Centre

The energy centre / plant room located at Level 1 shall be installed and operational prior to the first occupation of the development hereby approved.

Reason: In the interest of securing the centralised energy centre for the site and its sustainable connection to the various uses within the development in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

6. Combined Heat and Power and Associated Infrastructure

The development shall not commence until details of the Combined Heat and Power facility and infrastructure shall be submitted and approved in writing by the Local Planning Authority. The details shall include:

- a. location, specification, flue arrangement, operation/management strategy; and
- b. the method of how the facility and infrastructure shall be designed to allow for the future connection to any neighbouring heating and cooling network

The facility and infrastructure shall be operational/installed prior to the first occupation of the development hereby approved.

The Combined Heat and Power facility and infrastructure shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Reason: To ensure the Combined Heat and Power facility and infrastructure is provided appropriately and so that it is designed in a manner which allows

PLANNING COMMITTEE - 26.6.2012

for the future connection to a district system in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan and the NPPF.

7. BREEAM Rating

Evidence confirming that the development achieves a BREEAM 2011 *Healthcare* rating of no less than 'Excellent' shall be submitted to and approved in writing by the Local planning Authority. The evidence required shall be provided in the following formats and at the following times:

- a. a design stage assessment, conducted by an accredited Assessor and supported by relevant BRE interim certificate, shall be submitted at pre-construction stage prior to the commencement of superstructure works on site; and,
- b. a post construction assessment, conducted by an accredited Assessor and supported by relevant BRE accreditation certificate, shall be submitted following the practical completion of the development and prior to the first occupation.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with the strategic objectives of the Council and Policies 3.5, 5.2, 5.3, 5.7, 5.9, 5.12, 5.13, 5.15, 5.16, 5.18, 5.20 & 6.9 of the London Plan 2011 as well as the NPPF.

8. Green Procurement Plan

The development shall not commence until a Green Procurement Plan has been submitted to and approved in writing by the Local Planning Authority. The Green Procurement Plan shall demonstrate how the procurement of materials for the development will promote sustainability, including by use of low impact, locally and/or sustainably sourced, reused and recycled materials through compliance with the requirements of MAT1, MAT2 and MAT3 of the Code for Sustainable Homes and/or relevant BREEAM standard. The Plan must also include strategies to secure local procurement and employment opportunities. Wherever possible, this should include targets and a process for the implementation of this plan through the development process.

The development shall be constructed and procurement plan implemented strictly in accordance with the Green Procurement Plan so approved.

Reason: To ensure sustainable procurement of materials which minimises the negative environmental impacts of construction in accordance with Policy CP22 and CP23 of the Core Strategy and Policy 5.3 of the London Plan.

9. Considerate Constructors

The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal

PLANNING COMMITTEE - 26.6.2012

certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

10. Construction Site Waste Management

The development shall not commence until a Site Waste Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan should include as a minimum:

- i. Target benchmarks for resource efficiency set in accordance with best practice
- ii. Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste.
- iii. Procedures for minimising hazardous waste
- iv. Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works)
- v. Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups

In addition no less than **85%** by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policies 5.17, 5.18, 5.19, 5.20 of the London Plan and the draft North London Waste Plan.

54

P12-01108LDC - 75, ROEDEAN AVENUE, ENFIELD, EN3 5QN

NOTED

1. The proposal constituted permitted development, but was presented to Planning Committee as it had been submitted by the Council's Plan Drawing Service.
2. The unanimous support of the Committee for the officers' recommendation.

AGREED that a Lawful Development Certificate be issued as the proposal constitutes 'permitted development' by virtue of Article 3 and Schedule 2 Part 1 Classes B, C and G of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008).

PLANNING COMMITTEE - 26.6.2012

55

P12-01183PLA - 92, GORDON HILL, ENFIELD, EN2 0QS

NOTED

1. The proposal was presented to Planning Committee as it had been submitted by the Council's Plan Drawing Service.
2. Receipt of a revised plan reducing the depth of the extension in line with extension at no. 90, and confirmation that officers were satisfied that there would be no undue impact on neighbouring properties.
3. The unanimous support of the Committee for the officers' recommendation.

AGREED that planning permission be granted, subject to the conditions set out in the report, for the reason set out in the report.

56

URGENT ITEMS

The reports listed on the agenda had been circulated in accordance with the requirements of the Council's Constitution and the Local Authorities (Executive Arrangements) (Access to Information) (England) Amendment Regulations 2002, with the exception of the reports for the following applications: P12-00456PLA, P12-00457HER, P12-00916PLA, and P12-00923HER. The reason for urgency was set out on the supplementary agenda.

57

P12-00456PLA - 84-6, 92, 94, 98, 100, 110-14, 122, 128-30, HERTFORD ROAD, LONDON, N9 7HL

NOTED

1. The introduction by the Planning Decisions Manager in respect of applications P12-00456PLA, P12-00457HER, P12-00916PLA and P12-00923HER, which would be discussed together, but with a separate decision made on each application.
2. Apologies for incorrect information included in para 2.1 of the reports in respect of the address numbers to which applications referred. The applications relating to the properties managed by Newlon involved nos. 84, 86, 92, 94, 98, 100, 110, 112, 114, 122, 128, 130.
3. The Council and Newlon Housing Trust had been working together, but there were differences between the proposed schemes, and officers considered it important to have uniformity.

PLANNING COMMITTEE - 26.6.2012

4. The Conservation Advisory Group supported the Council's proposals.
5. An amendment to recommendations that a final decision be delegated to officers in each case, as there may also be more amendments made to the Council's schemes to achieve uniformity.
6. The unanimous support of the Committee for the officers' recommendation.

AGREED that Members endorsed the concerns contained in the report and delegated a final decision on the application to the Head of Development Management / Planning Decisions Manager pending further negotiation to obtain revisions to accord with the Council scheme.

58

P12-00457HER - 84, HERTFORD ROAD, ENFIELD, EN3 5AL

NOTED

1. Information at para 2.1 was incorrect. The applications related to the properties managed by Newlon and involved nos. 84, 86, 92, 94, 98, 100, 110, 112, 114, 122, 128, 130.
2. The unanimous support of the Committee for the officers' recommendation.

AGREED that Members endorsed the concerns contained in the report and delegated a final decision on the application to the Head of Development Management / Planning Decisions Manager pending further negotiation to obtain revisions to accord with the Council scheme.

59

P12-00916PLA - 88, 90, 96, 102, 104, 106, 108, 116, 118, 120, 124, 126 & 132, HERTFORD ROAD, LONDON, N9 7HL

NOTED

1. The amendment to the recommendation.
2. The unanimous support of the Committee for the officers' recommendation.

AGREED that Members resolved to grant planning permission but in the light of the ongoing discussions with Newlon and the desire to achieve uniformity in the two approaches, delegate the final determination to the Head of Development Management / Planning Decisions Manager to ensure any necessary alterations are reflected in the Council proposals, subject to the conditions set out in the report, for the reason set out in the report.

60

PLANNING COMMITTEE - 26.6.2012

P12-00923HER - 88, 90, 96, 102, 104, 106, 108, 116, 118, 120, 124, 126 & 132, HERTFORD ROAD, LONDON, N9 7HL

NOTED

1. The amendment to the recommendation.
2. The unanimous support of the Committee for the officers' recommendation.

AGREED that Members resolved to grant listed building consent but in the light of the ongoing discussions with Newlon and the desire to achieve uniformity in the two approaches, delegate the final determination to the Head of Development Management / Planning Decisions Manager to ensure any necessary alterations are reflected in the Council proposals, subject to the conditions set out in the report, for the reason set out in the report.

61

APPEAL INFORMATION

NOTED the information on Town Planning application appeals received from 16/5/12 to 7/6/12 summarised in tables.

62

PLANNING PANEL - APPLICATION REF P12-01082PLA - SALMONS BROOK, ENFIELD N21, N9 AND N18

NOTED the arrangements for the Planning Panel meeting:

Date: Monday 9 July 2012

Time: 7:00pm

Venue: Highlands School, 148 Worlds End Lane, London, N21 1QQ

Membership: Labour – Councillors Constantinides, Ekechi and Keazor
Conservative – Councillors Delman and Hurer
(Chairman – Councillor Delman)

63

PLANNING PANEL - APPLICATION REF P12-00732PLA & P12-00733HER - MIDDLESEX UNIVERSITY, QUEENSWAY, ENFIELD, EN3 4SA

AGREED the following arrangements for the Planning Panel meeting:

Date: To be confirmed depending on availability of the venue – 30 July, 1 August, 6 August or 9 August

Time: 7:30pm

Venue: To be confirmed

Membership: Labour – Councillors Constantinides, Cranfield and Savva
Conservative – Pearce and Prescott
Chairman: Councillor Cranfield

PLANNING COMMITTEE - 26.6.2012

64

PLANNING PANEL RE ORDNANCE ROAD LIBRARY APPLICATION

NOTED the advice of the Head of Development Management that an application would be submitted shortly in respect of the redevelopment of Ordnance Road Library.

AGREED that a Planning Panel meeting be organised in respect of this application at a date to be notified and a venue to be confirmed, with the following membership:

Proposed Membership: Labour – Councillors Bakir, Keazor and Simon
Conservative – Chamberlain and Hurer

This page is intentionally left blank

MUNICIPAL YEAR 2012/2013 - REPORT NO 060

COMMITTEE:
PLANNING COMMITTEE
24.07.2012

AGENDA - PART 1	ITEM 5
SUBJECT -	
MISCELLANEOUS MATTERS	

REPORT OF:
Assistant Director, Planning
and Environmental Protection

Contact Officer:
Planning Decisions Manager
Andy Higham Tel: 020 8379 3848

5.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

5.1.1 In accordance with delegated powers, 173 applications were determined between 13/06/2012 and 10/07/2012, of which 139 were granted and 34 refused.

5.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

5.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

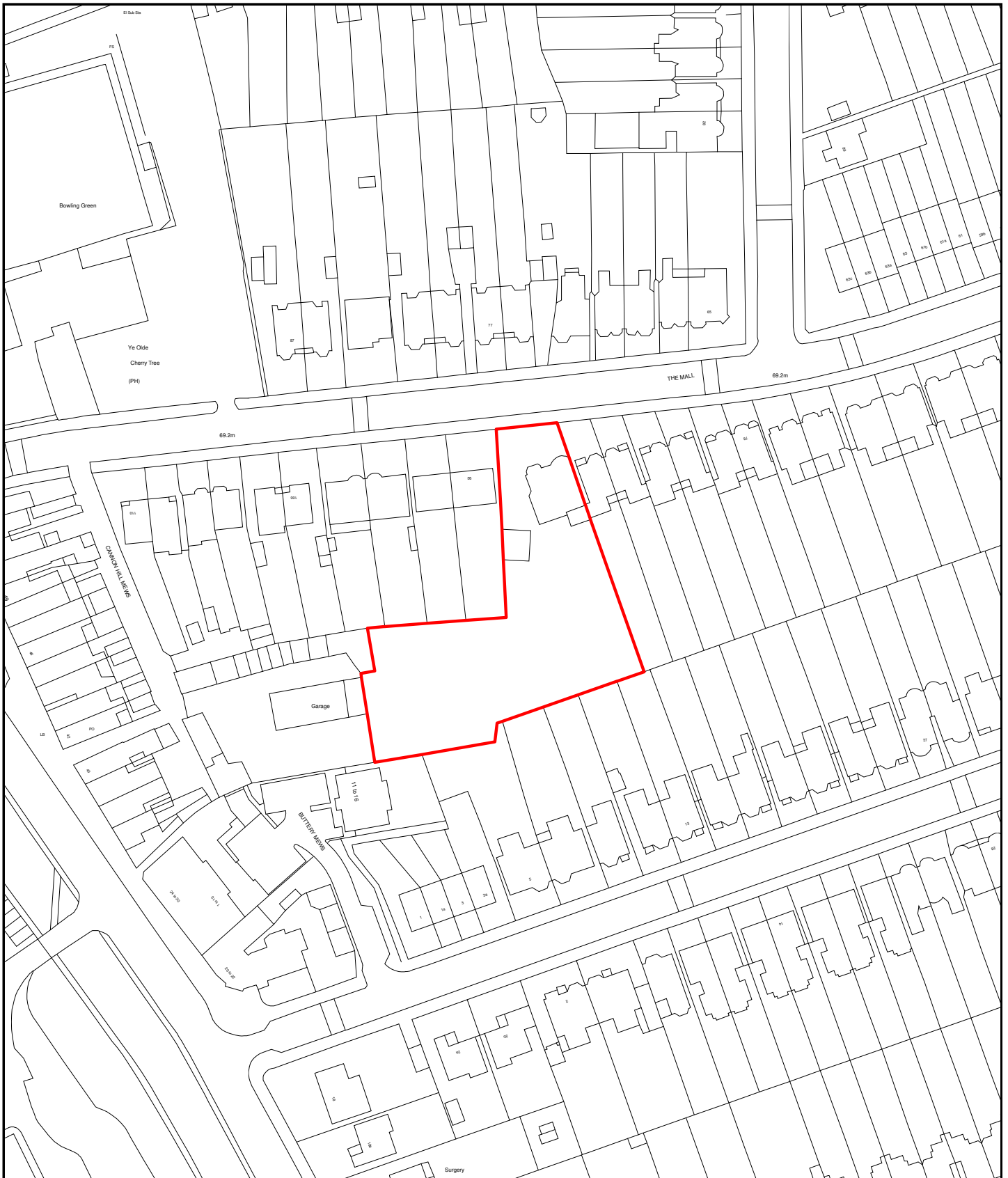
- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the Unitary Development Plan (UDP).
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

5.3 APPEAL INFORMATION

INF

The Schedule attached to the report lists information on town planning application appeals received and also contains information on decisions taken during the specified period.

LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 24th July 2012
Report of Assistant Director, Planning & Environmental Protection	Contact Officer: Aled Richards Tel: 020 8379 3857 Andy Higham Tel: 020 8379 3848 Ray Reilly Tel: 020 8379 3062	Ward: Southgate Green.
Application Number : P12-00842PLA		Category: Housholder Development
LOCATION: 90 The Mall, London, N14 6LP		
PROPOSAL: Erection of a Single Storey detached outbuilding at rear.		
Applicant Name & Address: Mr and Mrs Ploutarhou, The Chimes, 90 The Mall, Enfield, London, N14 6LP		Agent Name & Address: Charles Bettes, GPAD 6 Acton Street Kings Cross, London WC1X 9NA
RECOMMENDATION: That planning permission be GRANTED subject to conditions.		
Note for Members		
Although an application of this nature would normally be determined under delegated authority, the proposal has generated a significant level of concerns within the local community. In the light of the recommendation to approve therefore, it is reported to Planning Committee to consider and determine.		



Development Control



Scale - 1:1250
Time of plot: 14:00

Date of plot: 05/07/2012

1. Site and Surroundings

- 1.1 The property comprises a large detached two storey dwelling house located on the southern side of The Mall. In relation to other residential plots in the area the property has a much larger rear garden that is pre-dominantly flanked by large trees and hedging to all boundaries. The surrounding area is pre-dominantly residential in nature comprising of two storey properties of a similar size and nature.

2. Proposal

- 2.1 Planning permission is sought for the construction of an outbuilding at the south west corner of the garden.
- 2.2 The proposed outbuilding would be 9 metres deep and 20 metres wide with an overall height of 3.25 metres. The outbuilding would have a flat roof and it would be composed of standard solid construction rendered white with aluminium framed windows to the primary/ front elevation rear elevation and side elevation.
- 2.3 It is proposed to set the outbuilding in by 2 metres from all boundary points with neighbouring properties. The outbuilding is proposed to be composed of a large games room, a gym, associated seating area, study and WC Facilities with a terrace area facing area facing onto the rear garden of the application site.

3. Relevant Planning Decisions

- 3.1 The following applications illustrate the recent and most relevant applications in relation to the site.

LDC/05/0045: Dormer window and roof terrace with balustrade at rear. Granted.

LDC/10/0374: Outbuilding at rear. Granted.

4. Consultations

4.1 Statutory and Non Statutory Consultations

None relevant.

4.2 Public

Consultation letters were sent to 19 neighbouring properties. A site notice was also displayed at the site and the development was advertised in a local newspaper. A 14 day re-consultation period was also carried out ending on the 26th of June following receipt of additional information. In response 6 letters of objections were received raising all or some of the following comments:

- Information outlined on the submitted plans referring to the existing boundary treatment is inaccurate.
- Loss of Privacy

- Potential for the house to be converted into permanent residential accommodation
- Visual Impact from Neighbouring properties
- Impact of the Bulk of the proposed building
- Adverse impact on the green environment.
- Impacts from a noise perspective.
- Actual need for a building of this size for proposed purposes.
- Potential for further extensions at a later date.
- Extensive building works would cause impacts to neighbours.

5. Relevant Policy

5.1 Local Plan

SO10: Built Environment
CP30: Maintaining and improving the quality of the built environment.

5.2 Saved UDP Policies

(II)GD3 Aesthetics and functional design
(II)H8 Privacy
(II)H12 Residential Amenity

5.3 The London Plan

Policy 7.1 Building London's neighbourhoods and communities
Policy 7.2 An inclusive environment
Policy 7.4 Local character
Policy 7.6 Architecture

5.4 Other Relevant Policy

National Planning Policy Framework

6. Analysis

6.1 The principle issues for consideration under this application are the design and scale of the proposed outbuilding in its surroundings and its impact in terms of visual and residential amenity to neighbouring properties.

6.2 Design and Scale of the Proposal

6.2.1 Policy (II) GD3 of the UDP aims to ensure that high standards of design are taken into consideration, with reference to the boundary treatment of the property, the use of materials and the proposals siting, layout, alignment, spacing, height, bulk and massing. In addition Policy 7.4 of the London Plan states that development should have regard to the form, function and structure of an area and the scale mass and orientation of surrounding buildings.

6.2.2 As earlier referred to, the application proposes an outbuilding for purposes ancillary to the use of the existing property that would be 9 metres x 20 metres (180 sq metres) with an overall height of 3.25 metres. In normal

circumstances this would be regarded as a large building for a rear garden of a residential property. However, in this case whilst the proposed outbuilding is large, it is considered that it is not out of scale within the context of the garden space afforded to the existing dwelling house. Additional information has been submitted outlining the total un-built area of the site which reflects 1558 sq metres, which indicates that the proposed outbuilding would encompass 12% of the area of un-built land within the site.

6.2.3 In addition it must also be noted that a similar outbuilding proposal has already been confirmed as permitted development under LDC/10/0374. Furthermore, in terms of addressing the issue of bulk and scale it must also be noted that the property has permitted development rights to build an outbuilding of this scale and significantly larger, subject to conditions such as the following:

- The total area of ground covered by buildings on the site would not exceed 50% of the site area.
- The height of the building would exceed (i) 4 metres in the case of a dual pitched roof, (ii) 2.5 metres in the case of a building within 2 metre of the boundary of the curtilage of the dwelling house, (iii) 3 metres in any other case, (iv) the height of the eaves would exceed 2.5 metres.

Effectively therefore, a large outbuilding can be constructed in the position now proposed as permitted development and without the need for planning permission,

6.2.4 This application is necessitated rather than being built as permitted development due to the Applicants desire to have building with an eaves level higher than 2.5 metres and a more modern design. Essentially due to the expansive nature of the rear garden area the application has permitted development rights to build an outbuilding over a much larger footprint and to a height of 4 metres in the case of a dual pitched roof. Aside from the perspective the design and scale of the proposed outbuilding has been assessed on site and in accordance to relevant planning policies and overall it is considered there are no sufficient reasons to refuse the application based on grounds such as design and bulk.

6.3 Visual Impact and Residential Amenity

6.3.1 Policy (II) H8 and (II) H12 seek to ensure that residential extensions do not prejudice the amenities enjoyed by the occupiers of neighbouring residential properties in terms of privacy, overlooking and general sense of encroachment. In addition Policies 7.4 of the London Plan and CP30 of the Local Plan seek to ensure that new developments have appropriate regard to their surroundings, and that they improve the environment in terms of visual and residential amenity.

6.3.2 From the perspective of visual impact and residential amenity it is considered that there are five properties that the application has potential to impact upon, Numbers 5,7 and 9 Selborne Road and Number 92 and 94 The Mall.

6.3.3 The gardens of the properties on Selborne Road are approximately 26 metres deep from the rear building line. Although concerns such as noise and the visual impact have been raised by some residents, it is considered that the depth and extensive nature of the garden areas together with the proposed

building height at 3.25 metres would not detrimentally impact onto the amenity of these residents in terms of noise or bulk. Moreover, the gym and games room proposed would only be on a relatively small scale ancillary to the enjoyment of the residents of the existing house and at this level, is considered acceptable. In addition in terms of visual impact the boundary line between 90 The Mall and the properties on Selborne are relatively well screened to mitigate the visual impact of the proposal.

- 6.3.4 From the perspective of visual impact and residential amenity, the proposed site is relatively well screened particularly along the boundary with Number 94 where there is a high evergreen hedge approximately 4 metres high. It is considered this would sufficiently screen the proposed outbuilding from rear garden of Number 94 thereby mitigating the visual impact. In terms of the visual impact onto Number 92, although significant objections have been raised by the residents of this property, No.92 is relatively well screened by a privet hedge. It is though acknowledged that it is significantly less screened than the boundary with 94. Nevertheless, this visual presence is not considered sufficient to warrant refusal of the application and a condition is recommended to create a better screening, boundary treatment along the boundary with Number 92 which would mitigate the visual impacts.
- 6.3.5 In addition, although concerns have been raised on noise and disturbance grounds it is considered that the proposed use as a gym and games room incidental to the existing house would not be of the scale that would detrimentally impact on the residential of the occupants of the neighbouring properties on The Mall in particular Nos 92 and 94 The Mall.
- 6.3.6 Overall it is considered that the proposed outbuilding as a gym and games area would not detrimentally impact upon the visual and residential amenity of neighbouring properties in accordance with the relevant Policies CP30 of the Local Plan and (II) GD3, (II) H8 and (II) H12 of the Unitary Development Plan.

6.4 CIL Contribution

- 6.4.1 The size of the proposed extension would also be liable to a Community Infrastructure Levy contribution as the size of the extension exceeds 100m². The size of the new Gross Internal Floor area created has been calculated as 143m² x £20 = £2,860

7. **Conclusion**

- 7.1 Having regard to the above, it is considered that the proposed development is acceptable in principle as it would not have an adverse impact to the character and setting of the existing house and surrounding area or to the visual and residential amenity of neighbouring properties. There have been conditions imposed to completely mitigate the visual impact of the proposal and to ensure it would have no undue impact to neighbouring residents in terms of residential amenity. Therefore the proposal is therefore considered acceptable for the following reasons:
1. The proposed outbuilding by virtue of its size, scale, siting and design would not adversely impact upon the character of the existing property or on the visual and residential amenities of adjoining neighbours and surrounding area having regard to Policies (II) GD3, (II) H8, (II) H12 of the Unitary Development

Plan and CP30 of the Local Plan as well as guidance outlined under Policy 7.4 and 7.6 of the London Plan.

8. Recommendation

8.1 That planning permission be GRANTED planning permission subject to the following conditions:

1. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

2. The development shall not commence until details of a complete evergreen boundary hedge along the boundary with Number 92 and 94 have been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

Reason: In order to protect the residential amenities of surrounding occupiers and mitigate the visual impact of the proposal.

3. The approved outbuilding shall be used as a gymnasium and playroom facility incidental to the existing dwelling house and shall not be used for any business purposes or used for any form of habitable living accommodation.

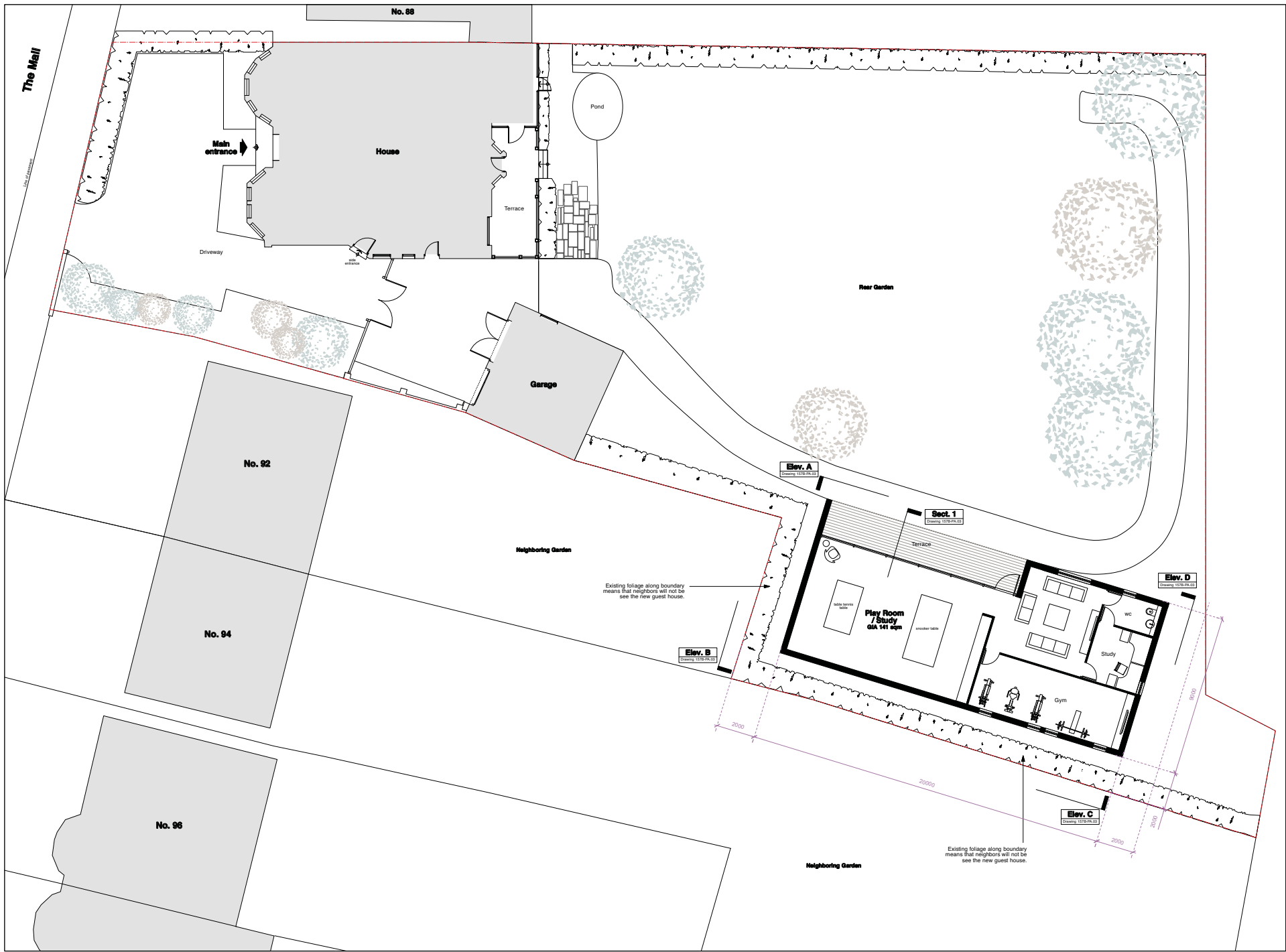
Reason: In order to protect the residential amenities of surrounding occupiers.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

5. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.



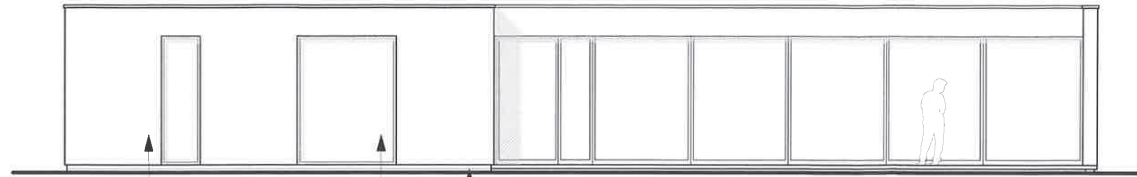
PROPOSED PLAN

Areas:
 Total Site Area = 1777 sqm
 Footprint of house = 152 sqm
 Footprint of garage = 43 sqm
 Unbuilt area of site = 1582 sqm
 50% of this area = 791 sqm

Legend:
 [Red dashed line] Represents site boundary

CLIENT MR AND MRS PLOUTARHOU	
PROJECT THE CHIMES, 80 THE MALL, LONDON N14 6LP	
TITLE PROPOSED PLAN	
DWG NO 157B-PA.02	REV
DRAWN BY CB	SCALE 1:100 @ A1
DATE MAR 2012	
<small>general practice architects & designers gpad ltd, 8 riverside, london, north city t: 020 7600 0225 f: 020 7600 2226 e: info@gpad.com</small>	
<small>This drawing is the copyright of gpad ltd. Physical dimensions to be taken in preference to those scaled. All dimensions to be checked on site before any work proceeds. Drawing not to be used for tend or other purposes. Drawings to be read in conjunction with relevant drawings and specifications. Not to be reproduced, retained or disclosed to any unauthorised person without the prior written permission of gpad ltd.</small>	
FILE NAME	PRINT SIZE A1





Elevation A

White render to external faces
 Aluminium framed windows powder coated in dark grey
 Brick plinth
 Aluminium capping piece to match window frames

3250

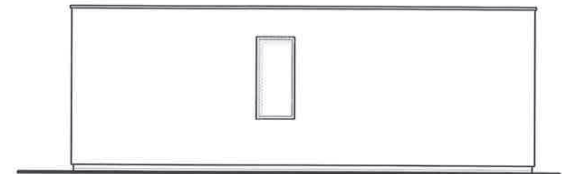


Elevation B

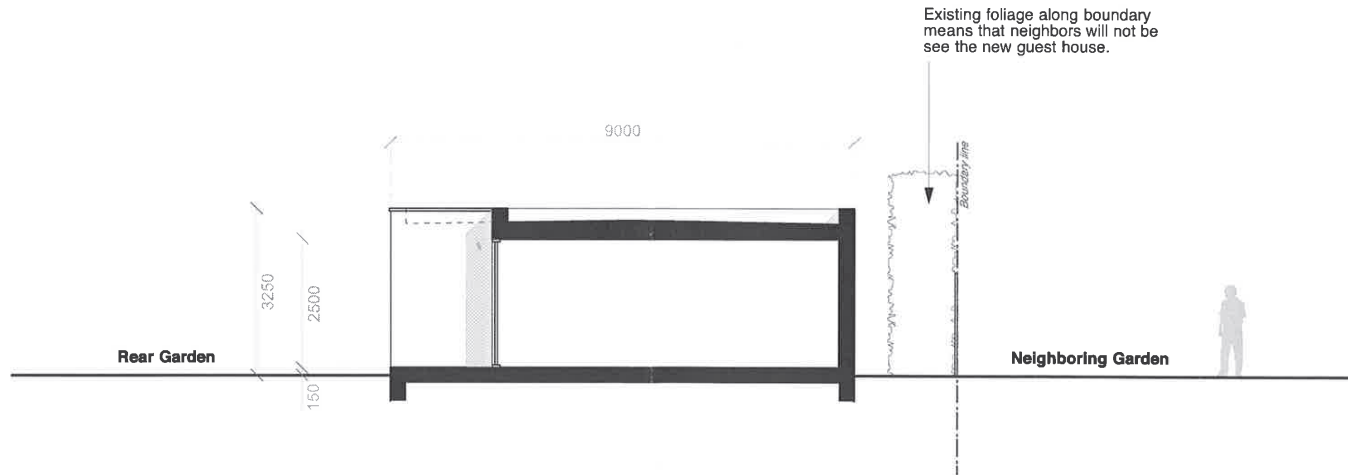


Elevation C

3250



Elevation D




Section 1

Note:
 For section and elevation guide
 see plan on drawing 157B-PA.02



PROPOSED ELEVATIONS AND SECTION

			PROJECT THE CHIMES, 90 THE MALL LONDON N14 6LP				DRAWING TITLE PROPOSED ELEVATIONS AND SECTION	
			CLIENT MR AND MRS PLOUTARHOU				 general practice architects & designers gpad ltd. 6 acton st, london, w61x 9na t: 020 7833 0222 f: 020 7833 2220 e - mail: info@gpadltd.com web: www.gpadltd.com	
			SCALE 1:100 @ A3	DATE MAR 12	DWG BY CB	REV.		
rev.	date	notes	CHCKD.	DWG NO.	157B-PA.03			
<small>This drawing is the copyright of gpad ltd. Figured dimensions to be taken in preference to those scaled. All dimensions to be checked on site before any work proceeds. Drawing not to be used for land transfer purposes. Drawings to be read in conjunction with relevant drawings and specification. Not to be reproduced, retained or disclosed to any unauthorised person either wholly or in part without written permission.</small>			© gpad ltd.					



This page is intentionally left blank

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of

Assistant Director, Planning & Environmental Protection

Contact Officer:

Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Ms E. Kiernan Tel: 020 8379 3830

Ward:

Cockfosters

Application Number : P12-01070PLA

Category: Other Development

LOCATION: CHICKEN SHED THEATRE, 290, CHASE SIDE, LONDON, N14 4PE

PROPOSAL: Erection of a detached single storey building (log cabin style) in the north-east boundary for educational purposes.

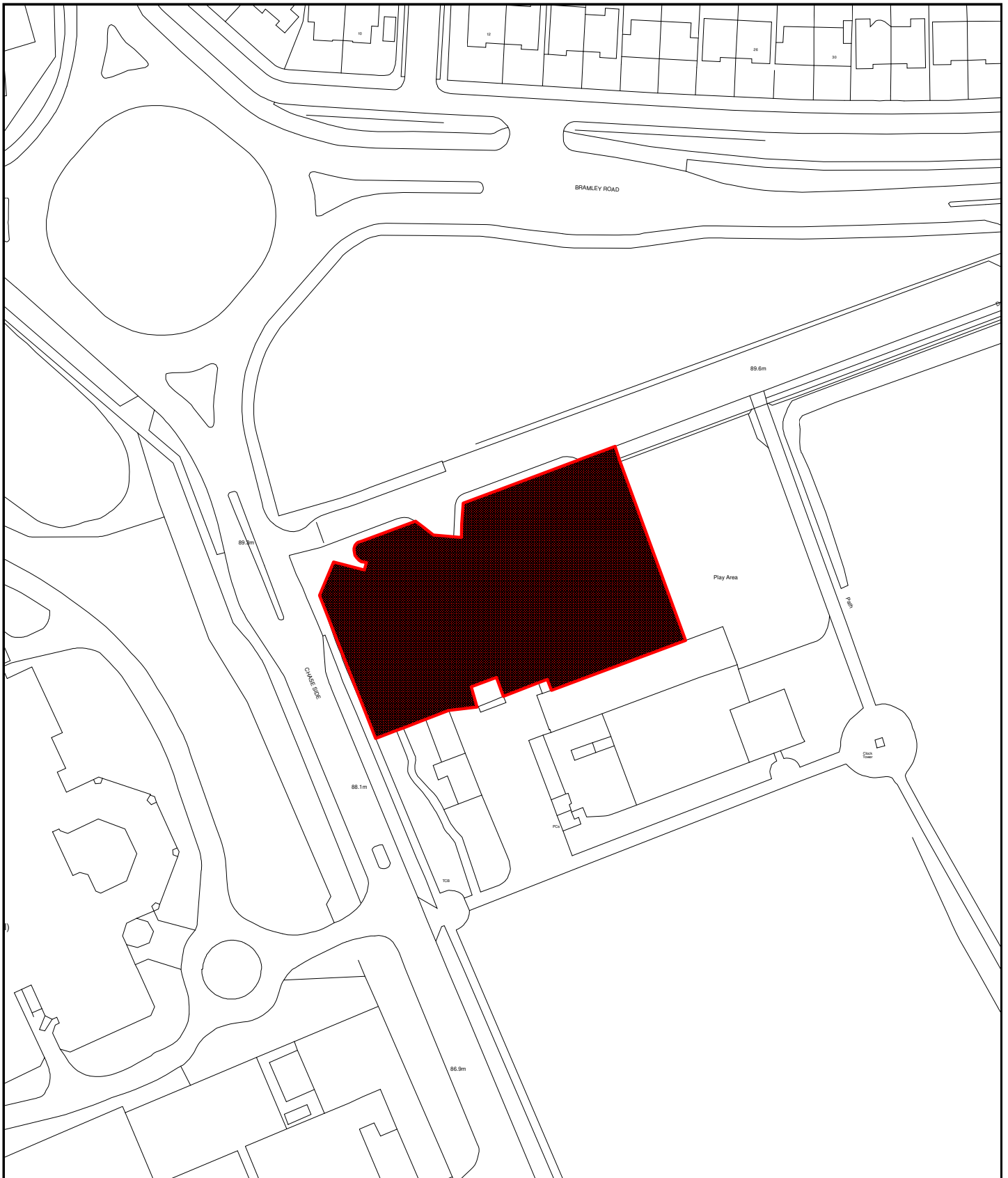
Applicant Name & Address:

Mrs Frances Thomas

Agent Name & Address:

RECOMMENDATION:

That planning permission be **GRANTED** subject to conditions.



Development Control



Scale - 1:1250
Time of plot: 14:06

Date of plot: 05/07/2012

1. Site and Surroundings

- 1.1 The Chicken Shed Theatre site comprises a large two storey detached building situated on the eastern side of Chase Side and southern side of Bramley Road. It functions as a performing arts and educational centre.
- 1.2 The surrounding area is predominantly residential in character, however the Middlesex University Campus is located directly opposite and playing fields and a sports ground abut the site to the south and east.

2. Proposal

- 2.1 Permission is sought for the erection of a detached single storey building in the form of a log cabin along the eastern boundary of the site. It would be used for educational purposes in connection with the Foundation Degree seminars supported by the Theatre in connection with Middx University.
- 2.2 The cabin would have dimensions of 14.5m depth x 4.8m width x 3m height and finished with a flat roof. The cabin would be set off the common boundary wall by 1m and constructed of timber (Scandinavian pine) with rubber roofing and timber windows frames and doors with glazing.

3. Relevant Planning Decisions

- 3.1 TP/05/1998 - Erection of a detached single storey building (log cabin style) in the north-west corner of the front garden area adjacent to Chase Side for educational purposes (revised scheme) – granted
- 3.2 TP/05/1341 - Erection of a detached single storey building (log cabin style) in the north-west corner of the front garden area adjacent to Chase Side for educational purposes – refused

4. Consultations

- 4.1 Statutory and non-statutory consultees
 - 4.1.1 Transportation raise no objection
- 4.2 Public
 - 4.2.1 Consultation letters were sent to 9 neighbouring properties. In addition, a site notice was also displayed at the site. No representations have been received.

5. Relevant Policy

- 5.1 Local Plan - Core Strategy
 - CP8 Education
 - CP11 Recreation, Leisure, Culture and Arts
 - CP9 Supporting community cohesion
 - CP30 Maintaining and improving quality of built environment
- 5.2 Saved UDP Policies

(II) GD3	Aesthetics and functional Design
(II) GD6	Traffic
(II) GD8	Servicing
(II)CS1	Support for Community Services
(II)CS2	Community Services
(II)CS3	Community Services

5.3 The London Plan (2011)

Policy 3.18	Education
Policy 6.13	Parking
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.4	Local Character

5.4 Other Relevant Policies

National Planning Policy Framework

6. Analysis

6.1 Principle of Development

6.1.1 The proposal represents educational related development on land already in use for such purpose alongside its primary arts purpose. In principle therefore, it is considered the development would be appropriate, whilst also supporting the work of Middlesex University in the delivery of higher educational teaching facilities. It would thus accord with Core Policy 8 Education of the Core Strategy, Policies (II)CS1-3 of the UDP as well as Policy 3.18 of the London Plan.

6.2 Impact on the Character and Appearance of the Surrounding Area

6.2.1 The proposed cabin would be located to the eastern boundary within an area comprising a sub station, stores and bin storage area. It is thus relatively well embedded within the site

6.2.2

6.2.3 The eastern boundary is common with Bramley Open Space and although the structure is not of a traditional appearance, the choice of materials featuring a timber roof and is considered practicable and given its position, it would not occupy an unduly prominent position where it could detract from visual amenity of the site or surrounding area. As a result, given the circumstances, this structure is considered acceptable and thus would have minimal impact when viewed from the surrounding area, having regard to policy (II) GD3 of the UDP and CP30 of the Core Strategy.

6.3 Impact on Neighbouring Residential Properties

6.3.1 Although within a residential area, there are no properties in the immediate vicinity which would be affected by the proposed development.

6.4 Highways and Parking

6.4.1 Although the proposal involves an expansion of the educational element associated with this site, there is no increase in pupils / students as they already attend the site in connection with their current studies. Furthermore,

the siting of the proposed cabin would not affect the provision of any on site parking or servicing. Consequently, it is considered that the proposal would not have any detrimental impacts on highway safety in regards to visibility and sightlines to motorists and pedestrians, having regard to policy (II) GD6 of the UDP.

7. Conclusion

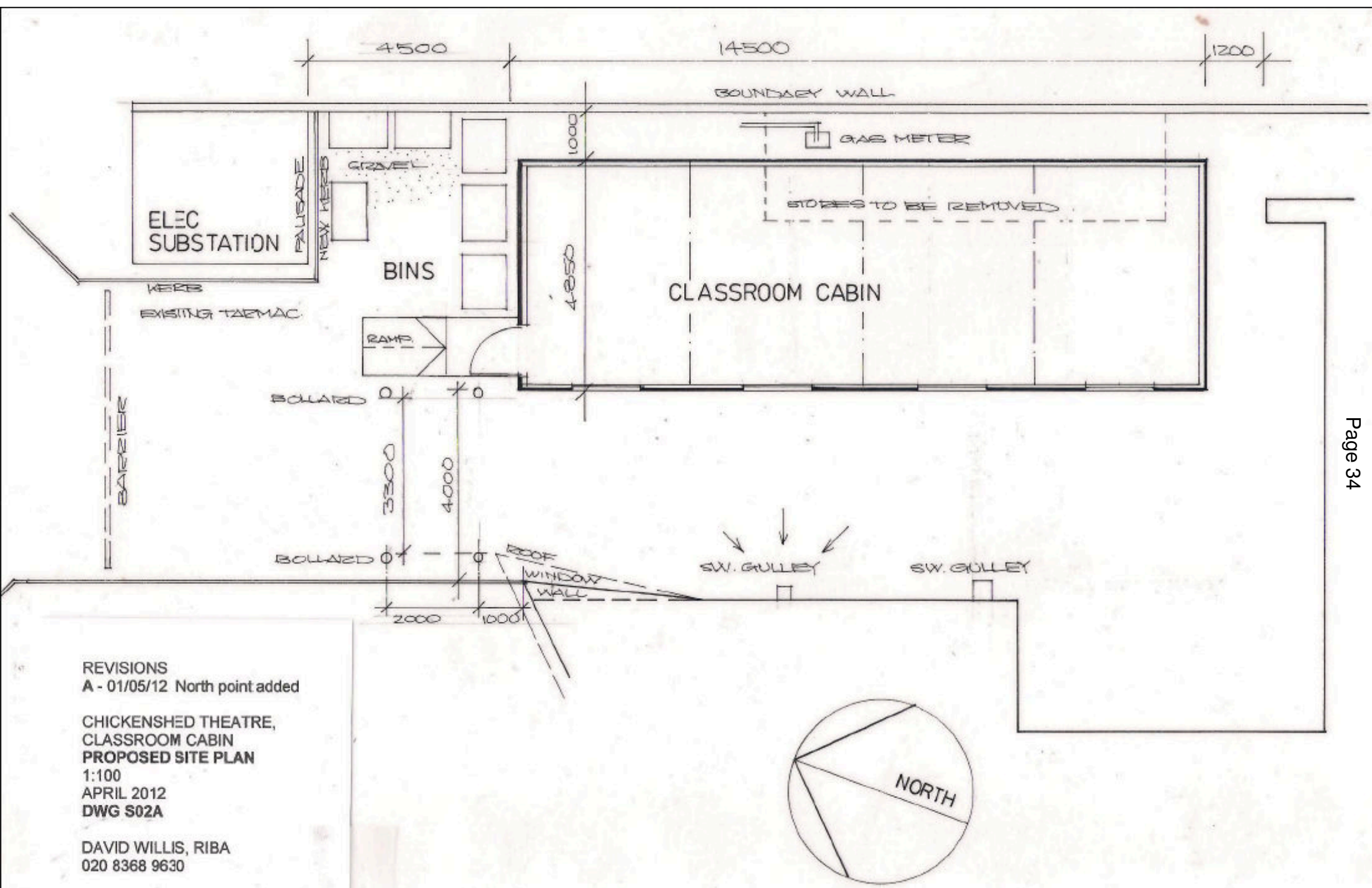
7.1. In the light of the above factors, the proposed log style cabin is considered acceptable due to its overall appearance and siting, which are considered acceptable within the street scene. Moreover, the cabin would provide educational facilities in connection with the established use of the Chicken Shed and Middlesex University. Additionally, the cabin would not be detrimental to residential amenities. The proposal is therefore considered acceptable for the following reasons

- 1 The proposed development provides enhanced educational facilities to meet the needs of existing and new communities in accordance with Core Policies 8 and 41 of the Core Strategy and 3.18 of the London Plan.
- 2 The proposed development would not lead to conditions prejudicial to the free flow and safety of traffic, including pedestrian traffic on the adjoining highway. In this regard, the proposal is considered to comply with Policies (II) GD6 and (II) GD8 of the UDP and with Policy 6.13 of the London Plan.
- 3 The proposed development, having regard to its size, siting and design has appropriate regard to its surroundings, the character and amenities of the local area and those of neighbouring occupiers and in this respect complies with Core Policy CP30, Unitary Development Plan policy (II)GD3 and London Plan policies 3.18 and 7.4

8 Recommendation

8.1 That planning permission be GRANTED subject to the following conditions:

- 1) C60 – Approved plans
- 2) C25 – No additional fenestration
- 3) C51a – Time limit

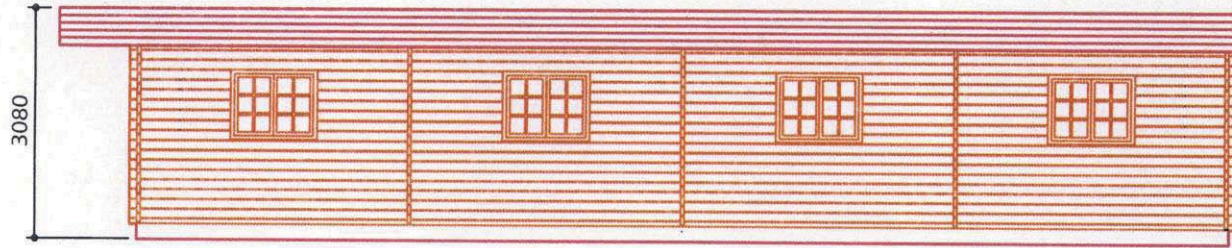


REVISIONS
 A - 01/05/12 North point added

CHICKENSHED THEATRE,
 CLASSROOM CABIN
 PROPOSED SITE PLAN
 1:100
 APRIL 2012
 DWG S02A

DAVID WILLIS, RIBA
 020 8368 9630

LONDON BOROUGH OF ENFIELD
23 APR 2012
DEVELOPMENT SERVICES



CHALET CENTER

Front view

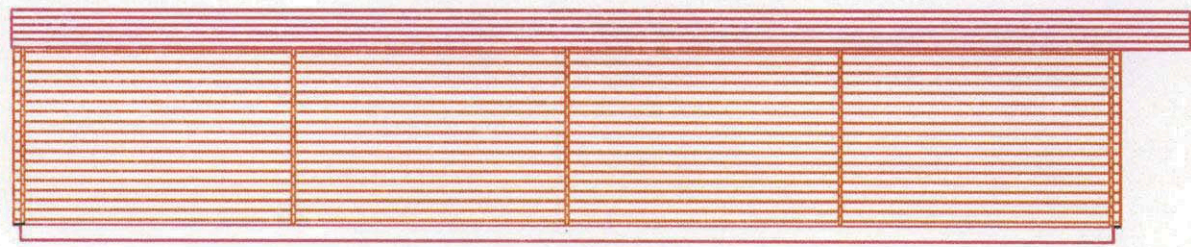
Datum: 05/04/2012

Getekend: JVH

Ref: Keops - Chicken Shed

A4

LONDON BOROUGH OF ENFIELD
23 APR 2012
DEVELOPMENT



Rear view

Datum: 05/04/2012	
Getekend: JVH	
Ref: Keops - Chicken Shed	
A4	

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of

Assistant Director, Planning & Environmental Protection

Contact Officer:

Aled Richards Tel: 020 8379 3857
 Andy Higham Tel: 020 8379 3848
 Ms E. Kiernan Tel: 020 8379 3830

Ward:

Winchmore Hill

Application Number : P12-01078PLA

Category: Householder Developments

LOCATION: 46, BURFORD GARDENS, LONDON, N13 4LP

PROPOSAL: Single storey rear extension and raised parapet wall to rear.

Applicant Name & Address:

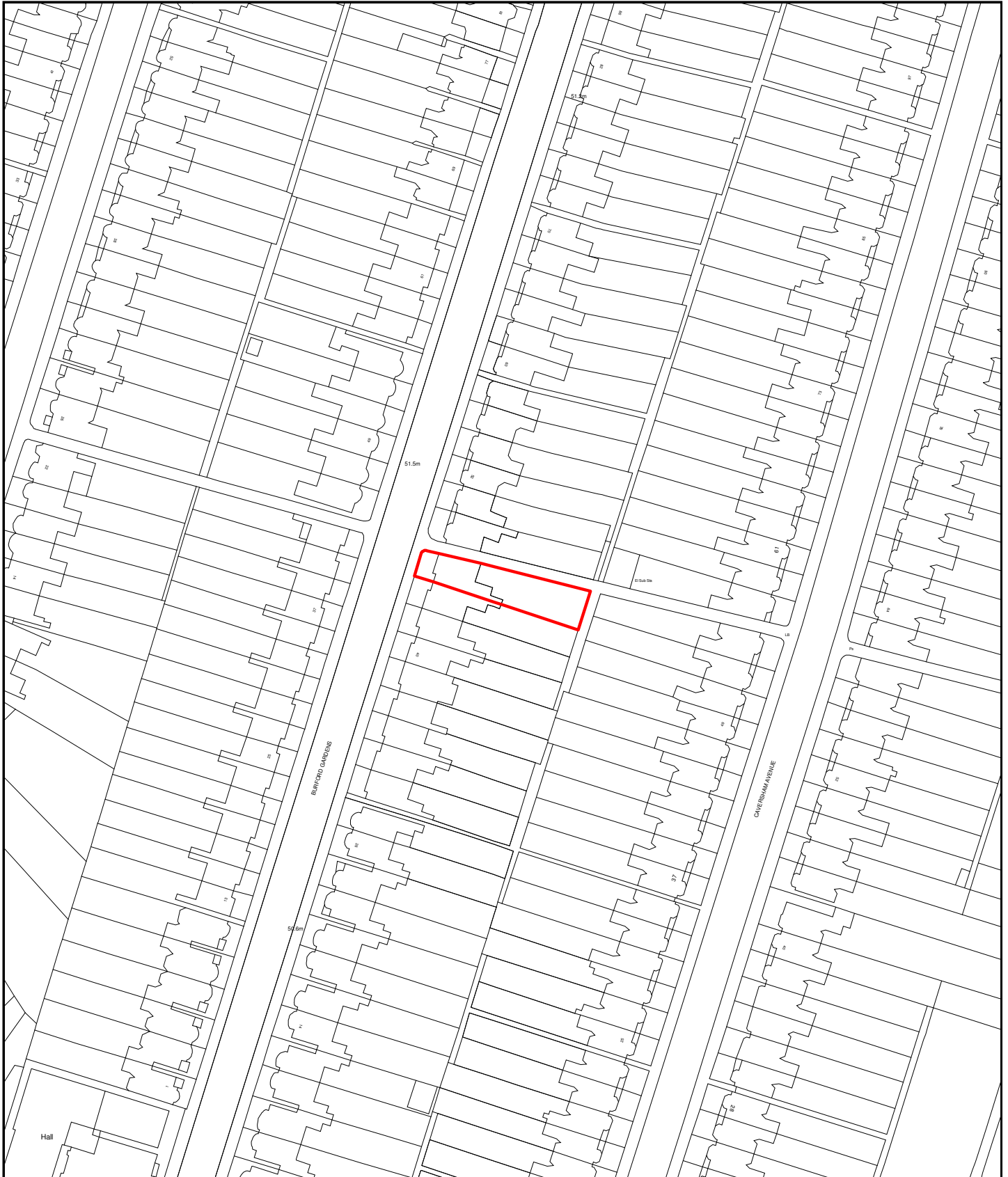
Ajit Singh
 46, BURFORD GARDENS,
 LONDON,
 N13 4LP

Agent Name & Address:

AMIR FAIZOLLAHI,
 Enfield Council Building Control
 Civic Centre
 Silver Street
 Enfield
 EN1 3XE

RECOMMENDATION:

That planning permission be **GRANTED** subject to conditions.



Development Control



Scale - 1:1250
Time of plot: 14:03

Date of plot: 05/07/2012

1. Site and Surroundings

- 1.1 A two storey end-of terrace dwelling situated on the eastern side of Burford Gardens with a hipped roofline and single storey rear extension. There is a public footpath, which runs adjacent to the northern site boundary.

2. Proposal

- 2.1 Permission is sought for the erection of a single storey rear extension to provide an additional bedroom and kitchen. It would involve the demolition of an existing external store which is linked to the existing building.
- 2.2 The proposal involves two elements. The first element would be to the rear of the original dwelling house and infill an existing area between the original L-shaped rear projection and the side boundary. It would have a depth of 4.265m and a maximum width of 3.6 metres. The rear elevation would have patio doors with steps leading to the rear garden and be finished with a pitched roofline to a maximum height of 3.6m.
- 2.3 The second element would be sited beyond the existing kitchen element and replace the external store on the boundary with 44 Burford Gardens. This element would be 3.598 metres deep and 3.969metres wide. The extension would be finished with a flat roofline to a maximum height of 3.3m.

3. Relevant Planning Decisions

- 3.1 LDC/01/0043 – Use of single family dwelling house as two flats was confirmed as lawful
- 3.2 TP/11/0504 – an application for a single storey rear extension was refused for the following reasons:
- The proposed single storey rear extension by virtue of its height, siting and depth would have a more dominant and overbearing impact on the residential amenities of the adjacent property at no. 44 Burford Gardens, contrary to saved Policy (II) H12 and accompanying Appendix A1.8 of the Unitary Development Plan and CP30 of the Core Strategy.
 - The proposed single storey rear extension by virtue of its design including the chamfering of the extension, as well as the excessive depth would be out of keeping and character with the surrounding pattern of development, detrimental to the visual amenities of the area, contrary to saved Policy (II) H12 and Appendix A1.8 of the Unitary Development Plan and CP30 of the Core Strategy.
 - The proposal would result in poor standards of amenity and general environment, for the existing or future occupiers of the ground floor flat due to limited natural light and ventilation to the bedroom window as a result of the extension. The proposal is, therefore, contrary to the requirements of saved Policy (II) H12 and the accompanying Appendix A1.8 of the Unitary Development Plan and Policy CP4 and CP30 of the Core Strategy and Policy 3.5 of the London Plan (2011).

4. Consultations

4.1 Statutory and non-statutory consultees

4.1.1 None

4.2 Public

4.2.1 Seven neighbouring properties were consulted and a site notice was also posted. One representation has been received, which raised the following objections:

- No objection provided that the extension does not affect the existing parapet wall on the sloping roof

5. Relevant Policy

5.1 Local Plan - Core Strategy

CP30 Maintaining and improving quality of built environment

5.2 Saved UDP Policies

- (II) GD3 Aesthetics and functional Design
- (II) GD6 Traffic
- (II) GD8 Servicing
- (II) H8 Privacy
- (II) H12 Extensions to residential properties

5.3 The London Plan (2011)

- Policy 6.13 Parking
- Policy 7.1 Building London's neighbourhoods and communities
- Policy 7.2 An inclusive environment
- Policy 7.4 Local Character
- Policy 7.5 Public realm
- Policy 7.6 Architecture

5.4 Other Relevant Policies

National Planning Policy Framework

6. Analysis

6.1 Character and Appearance

6.1.1 A reason for refusal on the previous decision related to the design of the single storey rear extension which included chamfered corners, as well as its excessive depth would result in a form of development out of keeping and character with the surrounding pattern of development, detrimental to the visual amenities of the area, contrary to saved Policy (II) GD3 of the Unitary Development Plan and CP30 of the Core Strategy.

6.1.2 The proposed extensions would now have a maximum depth of 4.2m and 3.5m rather than the depths of 7.7 metres and 4.5 metres respectively. While deeper than normally accepted, the whole extension has been reduced in

depth with that element on the boundary with No 44 now in common alignment with the extension to that property.

- 6.1.3 In regards to height, the kitchen/lounge element of the extension would retain a pitched roof to the same height (3.9m) and pitch as existing. The additional bedroom would feature a flat roof design to a maximum height of 3.3 metres. The previously refused scheme was approximately 1.3m higher than neighbouring storage projection. The current scheme is therefore approximately 1 metre lower than the previously refused scheme and additionally, the flat roofline would be tucked behind the existing parapet wall and project away from the boundary.
- 6.1.4 It is therefore considered that the scale and appearance of the development are now considered more appropriate and it is considered, is now acceptable to address the previous reason for refusal

6.2 Impact on Neighbouring Amenities

- 6.2.1 As the property is end of terrace, the property most impacted on by the development would be the attached dwelling at No. 44 Burford Gardens. Appendix A1.8 of Policy (II) H12 states that normally single storey rear extensions should not exceed 2.8m in depth although with the introduction of the 2008 Amendment to the GPDO in 2008, a depth of 3 metres is now considered acceptable. Moreover, in some circumstances, where site conditions allow, extensions of a greater depth that this may also be acceptable. Such exceptions include alignment with neighbouring properties
- 6.2.2 The previous scheme TP/11/0504 was refused for three reasons: one of which was the height, siting and depth giving rise to a dominant and overbearing impact on the occupiers at no. 44 Burford Gardens. In this regard, the depth of the extension on this boundary has been reduced from 7.7m to 4.2m. Additionally, the depth of the extension on the elevation adjacent to no. 44 has been reduced by 1 metre and now is in common alignment with an existing projection serving this property. Furthermore, as mentioned previously, the height of the extensions has also been reduced. Nevertheless, it is recognised that on the boundary with No 44 although the proposed extension would project no further than the rear of the outbuilding in situ to the rear of No 44, there would be an increase in height of the boundary wall of approx 0.8 metres. The rear elevation of No 44 contains an obscured glazed bathroom window and together with the original outbuilding on the boundary, it is considered the proposal would not give rise to conditions through a loss of light, overshadowing and outlook, detrimental to the amenities of this property.
- 6.2.3 Policy (II) H8 seeks to prevent overlooking and safeguard privacy. There are no proposed windows in the elevation facing no. 44 Burford Gardens. Furthermore, the proposed steps to the rear garden, although slightly elevated would not compromise the existing levels of privacy, having regard to Policy (II) H8 of the UDP.
- 6.2.4 With reference to No 48 Burford Gardens, there is a public footpath providing a separation between the adjacent properties and it is considered that the extensions would not be detrimental to the occupiers of this property in regards to loss of sunlight/daylight or outlook.

6.2.5 It should also be noted that the single storey extensions would not be detrimental to the amenities of the first floor flat, given that the occupiers are set at a higher level and as their access would remain as existing.

6.3 Internal Layout

6.2.6 One of the reasons related to the effect of the proposed development on the amenities of the future occupiers of the ground floor flat. The internal layout has been altered with this current scheme and therefore the first bedroom has been relocated to the front of the property (existing lounge) and the second bedroom would be erected within the element of the extension adjacent to the attached neighbours at No. 44. Both bedrooms would therefore receive sufficient sunlight/daylight provided by suitable windows. Additionally, the lounge/kitchen area would be open plan and feature double patio doors and five roof lights to provide sufficient sunlight/daylight to this area. It is therefore concluded that the third reason of refusal relating to poor standards of amenity has been overcome.

6.3 Highways and Parking

6.3.1 The proposals are not considered to have any further impacts on parking or servicing to the site, having regard to Policies (II) GD6 and (II) GD8 of the UDP and 6.13 of the London Plan.

7. **Conclusion**

7.1. The proposed rear extensions, given their overall scale, siting and dimensions would not be detrimental to the character and appearance of the street scene or adversely impact on residential amenities of surrounding properties. The proposal is therefore considered acceptable for the following reasons:

- 1) The proposed single storey extension due to its design, size and siting does not unduly affect the amenities of adjoining or nearby residential properties or detract from the character and appearance of the street scene having regard to Policies (II) GD3, (II) H8 and (II) H12 of the Unitary Development Plan, CP30 of the Core Strategy, as well as 7.4 and 7.6 of the London Plan and the advice contained within the National Planning Policy Framework.

8 **Recommendation**

8.1 That planning permission be granted subject to the following conditions:

- 1) C60 – Approved plans
- 2) C08 – Materials to match
- 3) C25 – No additional fenestration
- 4) C26 – Restriction of use of extension roofs
- 5) C51a – Time limit

This drawing and design is copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

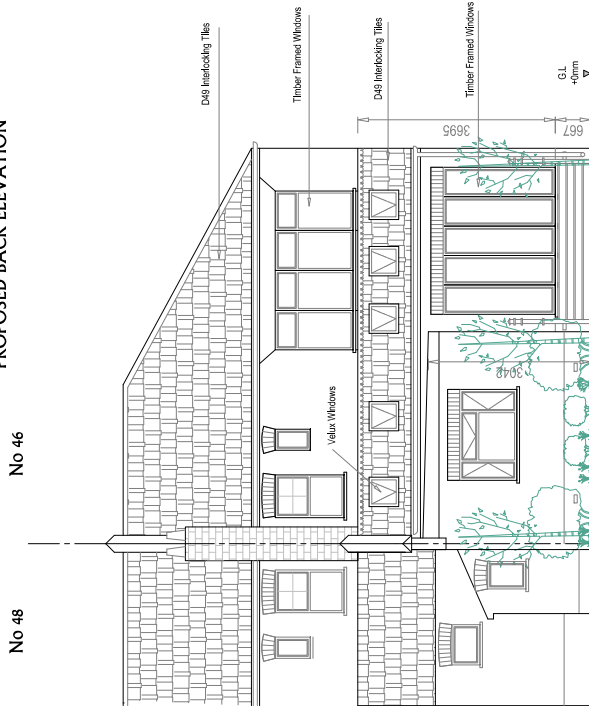
The proposed works may fall within the Party Wall Act 1996. The party wall procedure must be adopted before work commences on site. Please refer to information booklet from www.odpm.gov.uk/partywall-1996 or Tel 0870 122 6236



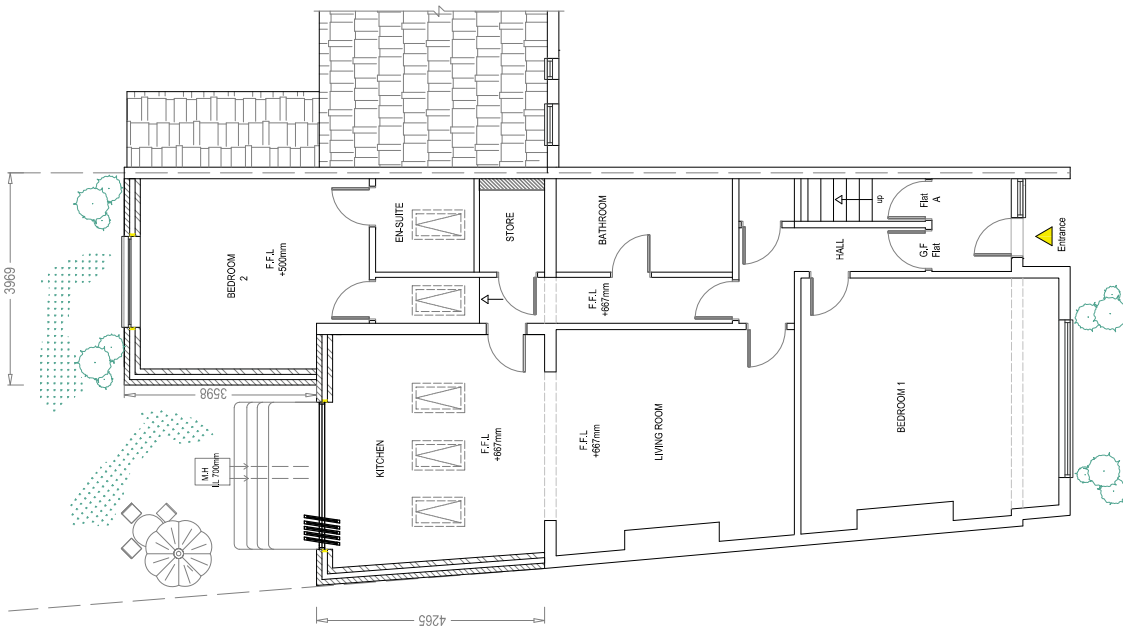
Plain Drawing Service
 PO Box 53, Civic Centre,
 Silver Street, Enfield, Middlesex EN1 3JH
 Tel: 020 8379 3624 Fax: 020 8379 3679
 email: building.control@enfield.gov.uk

Client	MR AJIT SINGH
Project	46 BURFORD GARDENS N13 4LP
Drawing Title	PROPOSED
Drawing No.	PPS 004
Scale	1:100
Drawn by	A.F
Revision	-
Size	A3
Date	1/4/2011

PROPOSED BACK ELEVATION



LOCATION PLAN
 SCALE 1:250



PROPOSED GROUND FLOOR PLAN

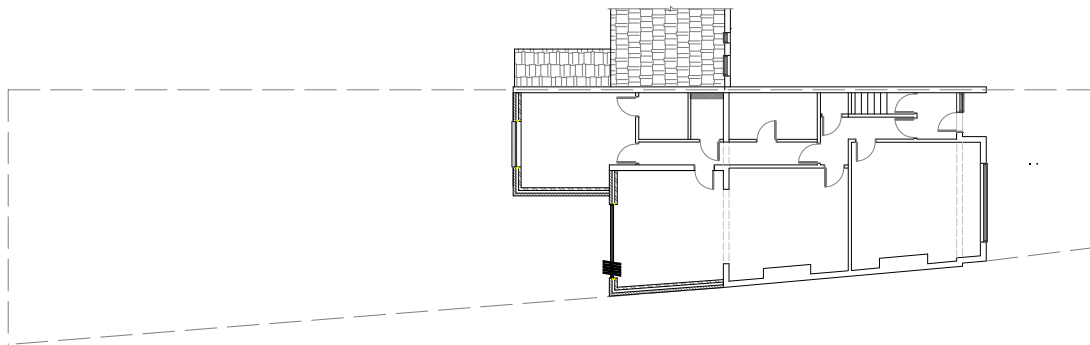
This drawing and design is copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

The proposed works may fall within the Party Wall Act 1996. The building owner must notify and obtain formal agreement from adjoining owners. The party wall procedure can be found in the Party Wall Act 1996. Further information can be found in the Party Wall Act 1996 Information booklet from www.odpm.gov.uk/partywall-1996 or Tel 0870 122 6236

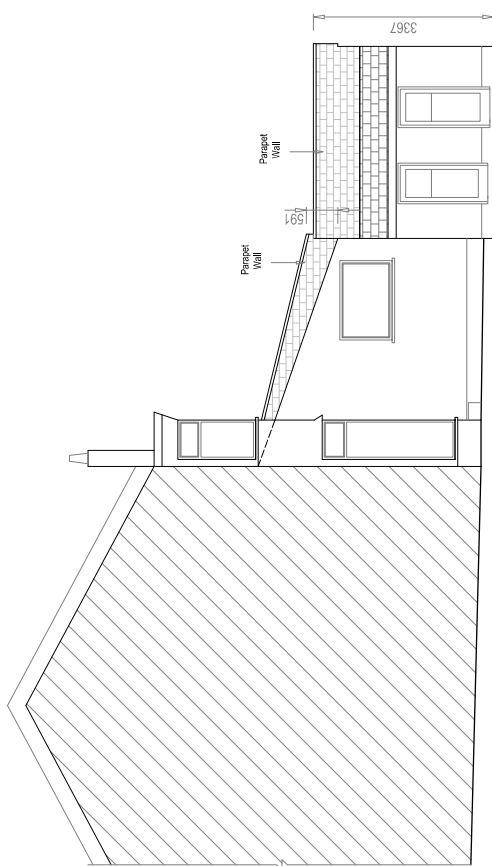


Plan Drawing Service
 PO Box 433, Civic Centre,
 Silver Street, Enfield, Middlesex EN1 3XB
 Tel: 020 8593 3624 Fax: 020 8593 3879
 email: building_control@enfield.gov.uk

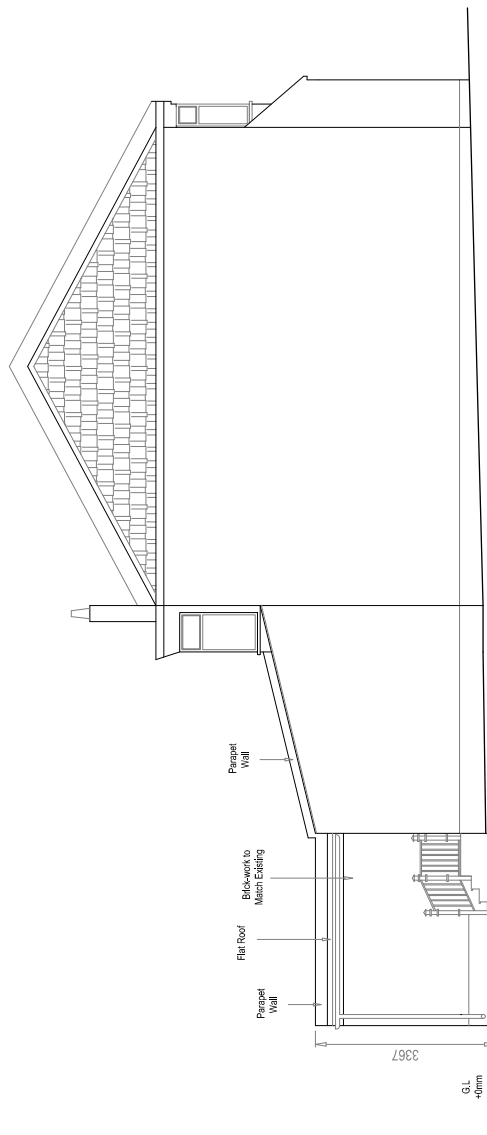
Client	MR AJIT SINGH		
Project	46 BURFORD GARDENS N13 4LP		
Drawing Title	PROPOSED		
Drawing No.	P/S 003	Revision	-
Scale	1:100	Size	A3
Drawn by	A.F	Date	14/2011



BLOCK PLAN
 SCALE 1:200



PROPOSED SIDE ELEVATION FROM No 48



PROPOSED SIDE ELEVATION

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Ms L.Dye Tel: 020 8379 1203

Ward: Grange

Application Number : P12-01223PLA

Category: Change of Use

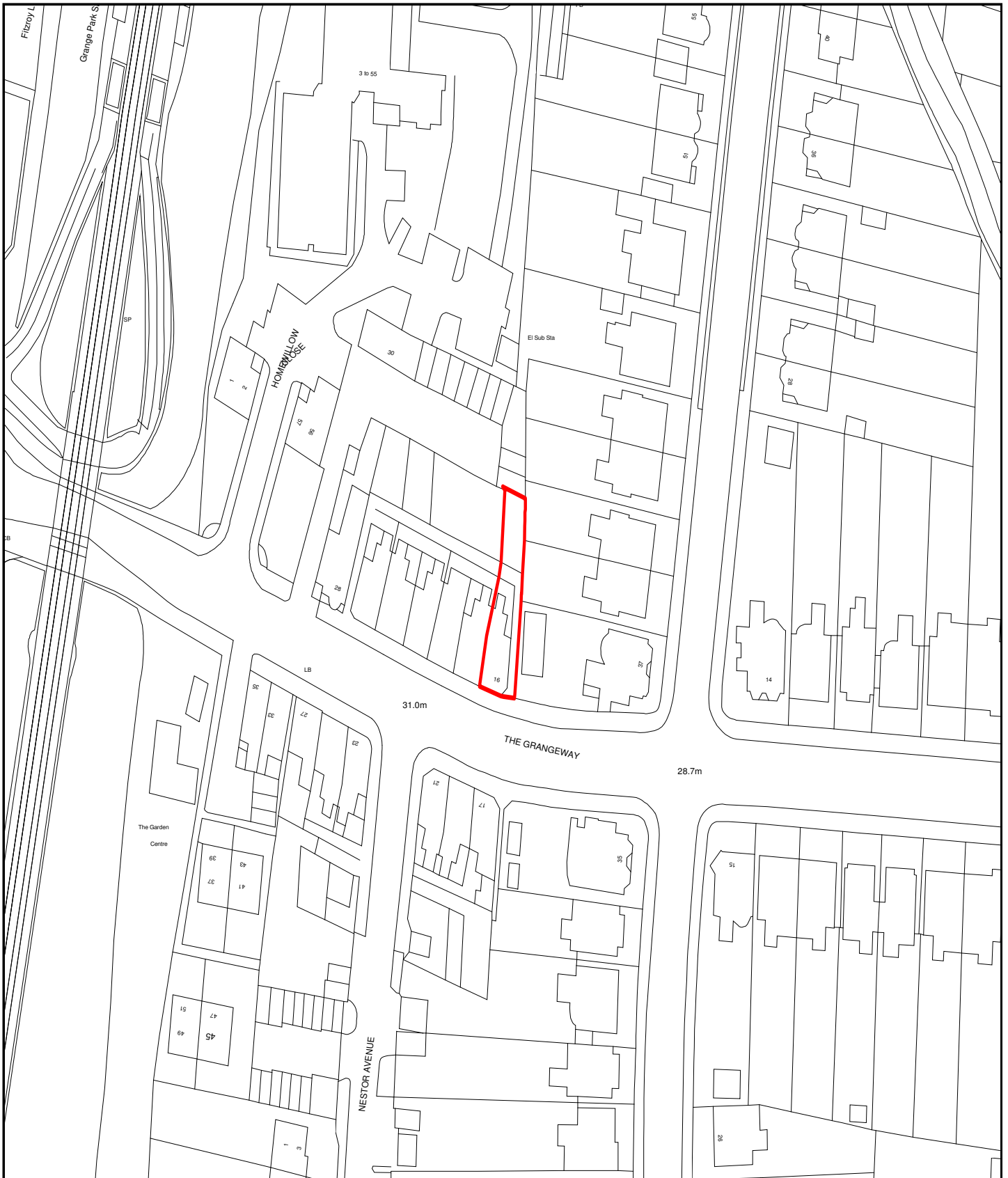
LOCATION: 16, THE GRANGWAY, LONDON, N21 2HA

PROPOSAL: Change of use of ground floor from (A2) to hot food takeaway (A5) together with extractor flue at rear.

Applicant Name & Address:
Burhan Kurum
8, Risborough Close,
London,
N10 3PL

Agent Name & Address:
Halit Ertas,
Northpoint Planning
8 Risborough Close
London
N10 3PL

RECOMMENDATION:
That planning permission be **REFUSED**.



Development Control



Scale - 1:1250
Time of plot: 15:01

Date of plot: 09/07/2012

1. Site and Surroundings

- 1.1 A three storey end-of terrace property situated along the northern side of The Grangeway within an existing local centre. The ground floor commercial premises are currently vacant. However, the premises were previously occupied by an estate agent.
- 1.2 The surrounding area is mixed in terms of character, with parades of shops interspersed with predominantly residential single family dwellings. The application property is situated within the Grange Park Conservation Area.

2. Proposal

- 2.1 The application proposes a change of use of the ground floor to a hot food takeaway (Class A5). The existing shop front would be maintained and minimal internal alterations would be made. At the rear, it is proposed that an extractor flue would be installed onto the rear wall of the building at ground and first floor level.
- 2.2 The proposed use would operate between the hours of 08:00 and 21:30, Mondays to Saturdays. The business would employ 2 full-time and 2 part-time staff.

3. Relevant Planning Decisions

- 3.1 The relevant planning history at the application site is as follows:
 - TP/98/0243 – an application for the change of use from retail (A1) to financial and professional service (A2) (retrospective) was granted with conditions in April 1998
- 3.2 It should be noted that at Nos 21 & 22 The Grangeway, planning permission has been granted for the change of use of the ground floor from retail (A1) to hot food takeaway (A5) (LPA Refs: TP/95/0593, TP/95/0670).

4. Consultations

4.1 Statutory and non-statutory consultees

4.1.1 Conservation

The Conservation Officer comments that the proposed flue is very large and despite the assertion that it will be designed to match the existing building no information has been submitted to support this. The rear elevations are attractively designed and are not as plain as most back or terraces or shops. They are detailed with tiled quoins and decorative fenestration. Although they have suffered some harmful changes their design is still appreciable and the large flue will be an intrusive and unattractive feature on the rear elevation of No. 16. The rear elevations are visible from The Chine in views between the houses. These views are important as they add to the picturesque quality of the Conservation Area.

4.1.2 Environmental Health

No objections to the application for planning permission subject to the following conditions:

- Details of air conditioning or non-passive ventilation systems (extractor flue) must be submitted for approval to the local planning authority, prior to installation.

Reasons

To ensure that suitable measures have been put in place to prevent any potential noise/smell nuisance arising from the extraction system.

4.2.3 Traffic and Transportation

The development will not give rise to unacceptable on street parking conditions that would be prejudicial to the availability of existing on street parking spaces or result in conditions that may have a negative impact on the free flow of traffic and highway safety conditions.

4.3 Public

4.3.1 Consultation letters were sent to 67 neighbouring and nearby residential properties. In addition, notice was advertised by way of press notice dated 06 June 2012 and site notice displayed on 01 June 2012. Representations were received in response which raised all or some of the following points;

- Overprovision of takeaway/restaurants along The Grangeway;
- Additional litter and food smells associated with the restaurant, concerns regarding refuse storage facilities at the premises;
- Metal flue would be in a prominent location to the detriment of the character of the surrounding Conservation Area;
- Lead to higher traffic generation from passing trade and deliveries, pressure on parking in the area, danger to highway users and pedestrians;
- Noise nuisance from pedestrians using the premises in the evening.

4.3.2 Grange Park Conservation Area Study Group

They comment that the proposed flue will be unsightly to many passing by, not only in The Grangeway but it will also be clearly visible from The Chine. The flank wall of 16 The Grangeway and rear corner is a dominant feature when coming up from The Grangeway, and they feel this feature will do nothing to enhance the character of the Conservation Area. They also feel that even if painted matt black or dark grey it won't be any less obvious. Other concerns raised focus on the refuse storage and collection facilities for the proposed business, the business opening hours and the provision of another hot food takeaway.

5. **Relevant Policy**

5.1 Local Development Framework

- | | |
|------|---|
| CP30 | Maintaining and improving the quality of the built and open environment |
| CP31 | Built landscape and heritage |

CP32 Pollution

5.2 Saved UDP Policies

(II)GD3	Aesthetics and functional design
(II)GD6	Traffic generation
(II)GD8	Site Access and Servicing
(II)C30	Quality of development in Conservation Areas
(II)S13	Local provision of retail units
(II)S14	Change of use in local centres
(II)S15	Alternative uses vacant shops
(II)S18	Food and drink uses

5.3 The London Plan

Policy 6.13	Parking
Policy 7.4	Local character
Policy 7.8	Heritage assets and archaeology

5.4 Other Relevant Policy

National Planning Policy Framework

6. Analysis

6.1 Effect on Vitality and Viability of Local Centre

6.1.1 The ground floor premises are currently vacant. However, they were formally occupied by an estate agent which falls under Class A2 (financial and professional services). The proposed change of use to A5 (hot food takeaway) does not therefore result in the loss of an A1 retail unit detrimental to the retail character of the centre. Moreover, having regard to the parade within which it is situated, there are no other A3/A5 premises. With regard to the overall centre, and noting the existing A3/A5 premises at 21 and 22 The Grangeway, it is considered the proposed use would not result in an overconcentration of such uses nor represent a use which would detract from the vitality and viability of the local centre.

6.1.2 It is also noted that the ground floor premises have been vacant for some time and the proposed change of use would enable the reuse of an otherwise vacant unit which would contribute to the overall vitality and viability of The Grangeway shopping parade

6.2 Neighbouring Amenity

6.2.1 It is considered that the characteristics and inherent sensitivities of smaller local centres are such that changes of use to A3/A5 uses are more likely to adversely impact upon the residential amenities of neighbouring properties through prolonged and sustained noise and disturbance. However, it is considered that the commercial premises are located at the end of a parade of shops which run along the northern and southern side of The Grangeway. The parade comprises of a mixture of retail, takeaways, restaurants and financial and professional services. It was also noted that there is a hot food takeaway at No. 21 The Grangeway opposite the application site.

6.2.2 Taking into consideration the range of uses within The Grangeway and the existing restaurants and takeaways which operate outside normal business hours, it is considered that the proposed change of use would not result in a significant level of noise or general disturbance that would be over and above that already experienced by nearby residential occupiers. Moreover, it is indicated that the premises would operate between the hours of 08:00 and 21:30, Mondays to Saturdays which could be controlled via condition. Given that the premises would not be open late in the evening and the proposal would not be likely to increase potential noise and disturbance in the area, it is considered that the proposal would not be detrimental to the amenities of nearby neighbouring occupiers.

6.2.3 Environmental Health have raised no objections to the proposal and it is considered that the provision of extraction equipment at the rear of the building would control the release of food odours that would otherwise have a detrimental impact upon nearby neighbouring occupiers, particularly those situated at first floor level and above in the shopping parade. Furthermore, it is considered that appropriate conditions could be recommended in the event of approval of the application ensure that food odours and vibration from extraction or air conditioning equipment would not have a harmful impact upon neighbouring amenity.

6.3 Refuse and Litter

6.3.1 No details of refuse storage facilities, nor has any confirmation been received regarding the existence of a waste collection agreement from commercial waste services. However, it is considered that capacity is available to the rear for refuse storage and it is therefore considered that a condition securing further details of these aspects and the requirement for the provision of an additional litter receptacle would be sufficient to ensure the development does not result in an increase in littering to the detriment of the environment and complies with servicing standards stipulated by Policy (II)GD8 of the Unitary Development Plan.

6.4 Highways/Access

6.4.1 It is acknowledged that the proposed change of use is likely to attract car borne trade which could result in vehicles standing on the highway close the premises. Traffic and Transportation (T&T) have acknowledged the nature of the proposed development, however, they comment that on-street parking is available for vehicles on both sides of The Grangeway. Taking into consideration that the busiest times of the takeaway is likely to be after the neighbouring A1 retail units have closed, they conclude that it is reasonable to expect the on-street parking space to be able to accommodate the expected number of visitors to the site. Vehicles are therefore unlikely to cause an obstruction or prejudice highway safety for either vehicles or pedestrians. Furthermore, it is also considered that the cumulative effect of another A% use would not give rise to unacceptable levels of on street parking.

6.4.2 It is therefore considered that the proposed change of use would not give rise to unacceptable on-street car parking conditions that would be prejudicial to the availability of existing on street parking spaces or result in conditions that may have a negative impact on the free and safe flow of traffic and highway

safety conditions, in accordance with Policies (II) GD6 and (II) GD8 of the Unitary Development Plan and Policy 6.13 of the London Plan 2011.

6.5 Impact on the Character and Appearance of the Existing Property and Surrounding Conservation Area

6.5.1 Grange Park Conservation Area Character Appraisal highlights this area as a 'focal point' in the locality. This particular parade is described as a Richard Metherrall design of 'high architectural quality' with properties that have 'retained their distinctiveness'. No. 16 The Grangeway is situated on a prominent corner at the end of the northern shopping parade. The side/rear elevation of this building is attractively designed with detailed tiled quoins and decorative fenestration. The side and rear elevations are clearly visible on the western approach along The Grangeway and from the wider Conservation Area, including views between groups of houses within The Chine.

6.5.2 Policy (II)C30 seeks to ensure that all alterations/extensions to buildings within a conservation area serve to replicate, reflect or compliment the characteristics of the area in all aspects. The applicant contends that extractor flue would not be visible from street level. However, it is considered that the premises are situated in a prominent location within the Conservation Area and the eastern side/rear elevations are visible from the immediate vicinity of The Grangeway as well as surrounding residential streets. The extractor flue would be large in size and would extend from ground floor level to above the eaves of the building, 8.6 metres ground level. It is therefore considered that the size, siting and design of the extractor flue, together with the overall prominence of the side/rear elevation within the surrounding area, would have a harmful effect on the visual amenities of the area, detrimental to the appearance of the host building and would detract from the character of the Conservation Area.

6.5.3 Consideration has been given to whether appropriate conditions could be recommended to militate against the impact of the extraction flue on the surrounding Conservation Area. However, it is considered that such measures, including painting or otherwise disguising the extractor flue with a surround or casing, would not be sufficient to overcome its significant impact on the Conservation Area, not least because the flue would be situated in a prominent location and visually incongruous within the Conservation Area.

6.5.4 With reference to the principle of the use, although the premises are located within a Conservation Area, it is considered that the use would not be unacceptable and would not affect its special character and appearance

7. Conclusion

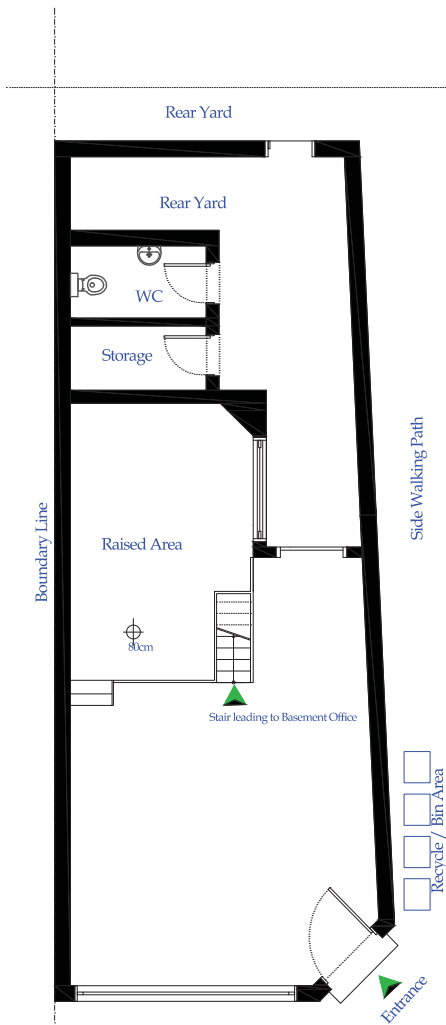
7.1 Having regard to those considerations outlined above, it is considered that the proposal is unacceptable because of the visual impact of the external flue

8. Recommendation

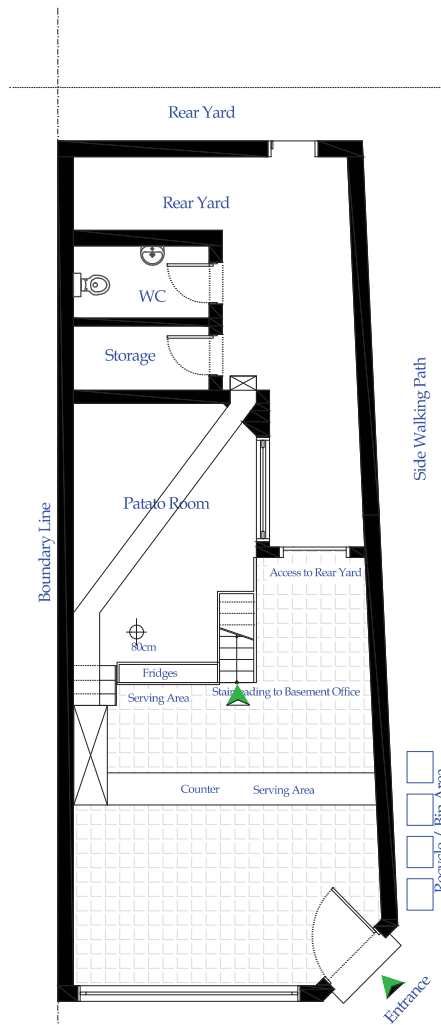
8.1 That planning permission be **REFUSED** for the following reasons:

1. The proposed extractor flue, by reason of its size, siting, external design and finish, would be unduly prominent and would have a harmful effect on the visual amenities of the area, detrimental to the appearance of the host

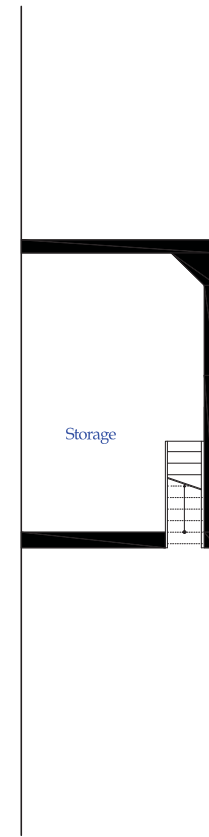
building and detract from the character of the Conservation Area. The proposal would thereby be contrary to Policies (II)GD3 and (II)C30 of the Unitary Development Plan and Policies 30 and 31 of the Core Strategy.



EXISTING GROUND FLOOR PLAN 1:100



PROPOSED GROUND FLOOR PLAN 1:100



PROPOSED BASEMENT FLOOR PLAN 1:100



www.northpointuk.co.uk

07886 44 23 04
info@northpointuk.co.uk

© This drawing and the works shown are the copyright of Northpoint Planning and Licensing and may not be reproduced except written permission

*Print @ A3

Planning Application

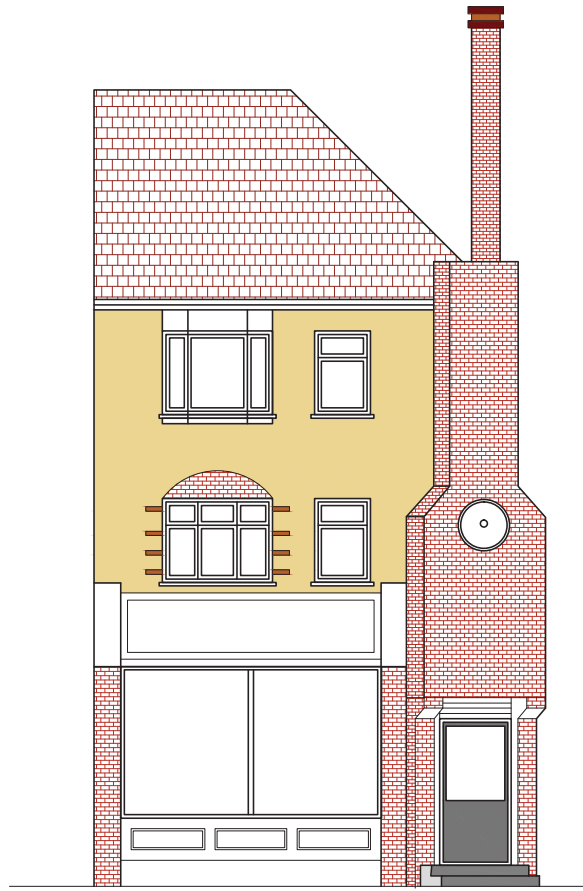
Project: 16 Grangeway , N21 2HG

Proposal : Change of use from (A2) Premises to A3 use fish and chips Shop

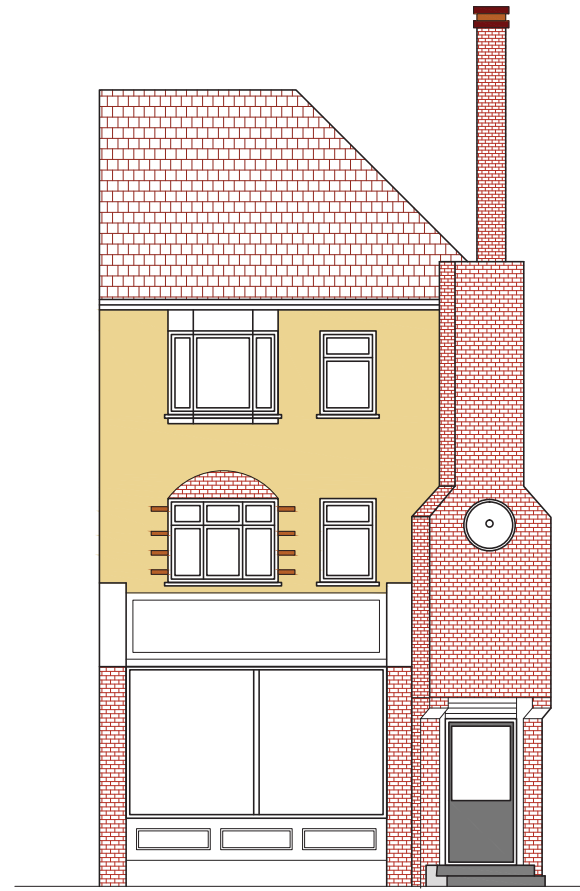
Drawing Title: Existing and proposed Ground Floor Plans

Date: 10/04/2012
Drawn: H.E.
Scale: 1:100

Drawing no : NPAPR12-001



EXISTING FRONT ELEVATION 1:100



*THERE WILL BE NO ALTERATION ON THE FRONT APPEARANCE OF THE PROPERTY

PROPOSED FRONT ELEVATION 1:100

Planning Application	Proposal : Change of use from (A2) Premises to A3 use fish and chips Shop	Date: 10/04/2012	Drawn: H.E	Scale: 1:100
Project: 16 Grangeway , N21 2HG	Drawing Title: Existing and proposed Front Elevation	Drawing no : NPAPR12-003		



PROPOSED SIDE ELEVATION 1:100

EXISTING SIDE ELEVATION 1:100

Planning Application	Proposal : Change of use from (A2) Premises to A3 use fish and chips Shop	Date: 10/04/2012	Drawn: HE	Scale: 1:100
Project: 16 Grangeway , N21 2HG	Drawing Title: Existing and proposed Side Elevation	Drawing no : NPAPR12-002		

This page is intentionally left blank

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mrs J. Rebaïro Tel: 020 8379 3822

Ward: Haselbury

Application Number : P12-01230PLA

Category: Other Development

LOCATION: CHURCHFIELD PRIMARY SCHOOL, LATYMER ROAD, LONDON, N9 9PL

PROPOSAL: Replacement fencing (RETROSPECTIVE)

Applicant Name & Address:

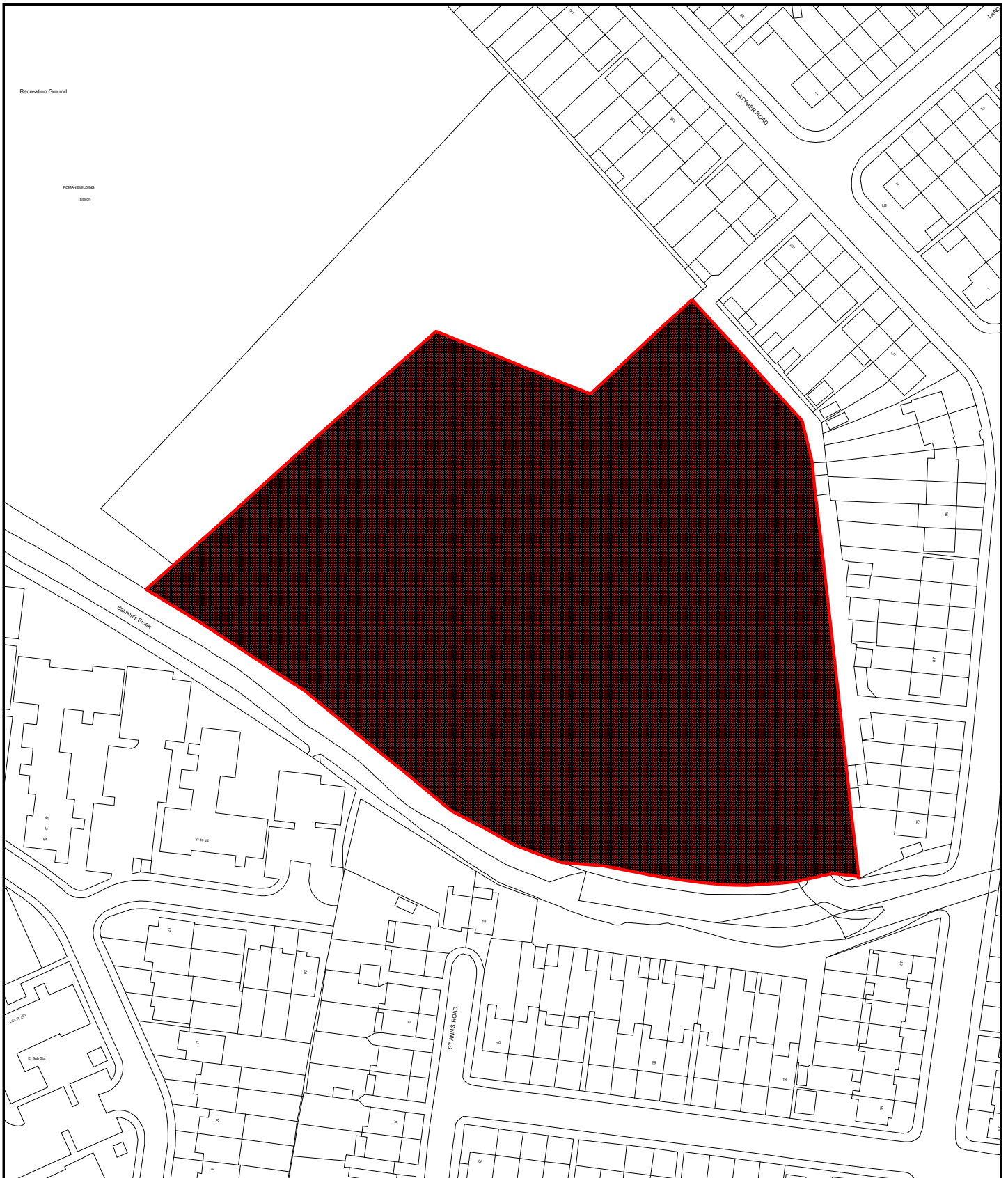
Andrew Fraser,
Director of ECSL
CIVIC CENTRE,
SILVER STREET,
ENFIELD,
EN1 3XA

Agent Name & Address:

Mrs Tasneeh Dhnakaran
CHURCHFIELD PRIMARY SCHOOL
LATYMER ROAD
LONDON
N9 9PL

RECOMMENDATION:

That planning permission be deemed to be **GRANTED** in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to conditions.



Development Control



Scale - 1:1250
Time of plot: 10:07

Date of plot: 12/07/2012

1. Site and Surroundings

- 1.1 Churchfield Primary School has recently been extended and comprises of a mixture of two storey and single storey buildings. It is bounded by Latymer Road to the north east and recreation ground to the north west and Salmons Brook to the south west. To the north east are residential properties and in particular, Nos. 111-147 (odd) Latymer Road, the rear gardens of which abut the north eastern boundary.

2. Proposal

- 2.1 Permission is sought for the erection of a new 3m high green-coated weld mesh fence with 450mm hockey posts to house three straining wires all green coated finish along part of the south west, north west and north eastern boundary of the school. The new fence would stretch for a length of approx 106m along the rear boundaries of Nos. 113-147, Latymer Road, 153 metres south west through the recreation ground and 22 metres north east along Salmons Brook.
- 2.2 The fence is a replacement to the already removed 2 metre (approx) high chain link fence

3. Relevant Planning Decisions

- 3.1 None

4. Consultations

4.1 Statutory and non-statutory consultees

- 4.1.1 Thames Water raise no objection

4.2 Public

- 4.2.1 Consultation letters were sent to seventeen surrounding properties. In addition a site notice was displayed at the entrance of the School. One letter of objection was received raising the following point:

- New fence higher than existing, now clearly visible from residential garden which is an eyesore. New fence not consistent with height of fence retained to rear of adjoining terrace as well as new fence opposite the nursery. Replacement fencing results in loss of screening by way of tree and hedgerow.

5. Relevant Policy

5.1 Local Plan - Core Strategy

- CP8 Education
- CP9 Supporting community cohesion
- CP30 Maintaining and improving quality of built environment

5.2 Saved UDP Policies

- (II) GD3 Aesthetics and functional Design
- (II) GD6 Traffic
- (II) GD8 Servicing
- (II) CS1 Facilitate the work of various community services
- (II) CS2 Siting and design of buildings to accord with the Council's environmental policies

5.3 The London Plan (2011)

- Policy 3.18 Education
- Policy 6.13 Parking
- Policy 7.1 Building London's neighbourhoods and communities
- Policy 7.4 Local Character

5.4 Other Relevant Policies

National Planning Policy Framework (2012)

6. **Analysis**

- 6.1 The main issue for consideration is the impact of the new fence in terms of its height and appearance, on the residential amenities of adjoining properties Nos. 113-147, Latymer Road.
- 6.2 The rear gardens of the Latymer Road properties are approximately 16 m in depth with some of the properties having screening on the boundary in the form of existing trees and vegetation. Where this is not sufficient, a condition is recommended to ensure additional planting. On this basis, it is considered that given the transparent nature of the fence and its sympathetic colour, the proposal would not affect the residential amenities of the adjacent properties.
- 6.3 In addition, the fence which runs along the boundary with the recreation ground and Salmons Brook is sympathetic to its surroundings and does not appear as a visually intrusive feature.

7. **Conclusion**

- 7.1 In light of the above, it is concluded that the proposal is acceptable having regard to applicable policy and the site circumstances. It is therefore recommended that planning permission be granted for the following reasons:
 - 1. The retention of 3.45m high weld mesh fence on the north eastern boundary of the site by virtue of its siting, size, height and appearance would not impact on the residential amenities of adjoining properties having regard to Policies (II) GD3 of the Unitary Development Plan and Local Plan Policy CP30.
 - 2. The retention of 3.45 metre high weld mesh fence, due to its siting, size, height and appearance would not detract from the visual amenities of the surrounding area having regard to Policies (II) GD3 of the Unitary Development Plan and Local Plan Policy CP30.

8. Recommendation

8.1 That planning permission be deemed to be granted in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992 subject to the following conditions:

1. C60 – Development in Accordance with Approved Plans
2. Details of replacement planting shall be submitted to and approved in writing by the Local Planning Authority. The proposed replacement planting shall include the following details:

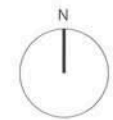
A) proposed trees: their location, species and size;

B) soft plantings: including grass and turf areas, shrub and herbaceous areas;

All landscaping in accordance with the approved scheme shall be completed/planted during the first planting season following practical completion of the development hereby approved. The landscaping and tree planting shall set out a plan for the continued management and maintenance of the site and any planting which dies, becomes severely damaged or diseased within five years of completion of the development shall be replaced with new planting in accordance with the approved details or an approved alternative and to the satisfaction of the Local Planning Authority. The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area, to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity and to preserve the character and appearance of the area in accordance with Policies CP30 and CP36 of the Core Strategy, the Biodiveristy Action Plan and Policies 7.19 & 7.21 of the London Plan 2011. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Notes
1. No dimensions are to be scaled from this drawing



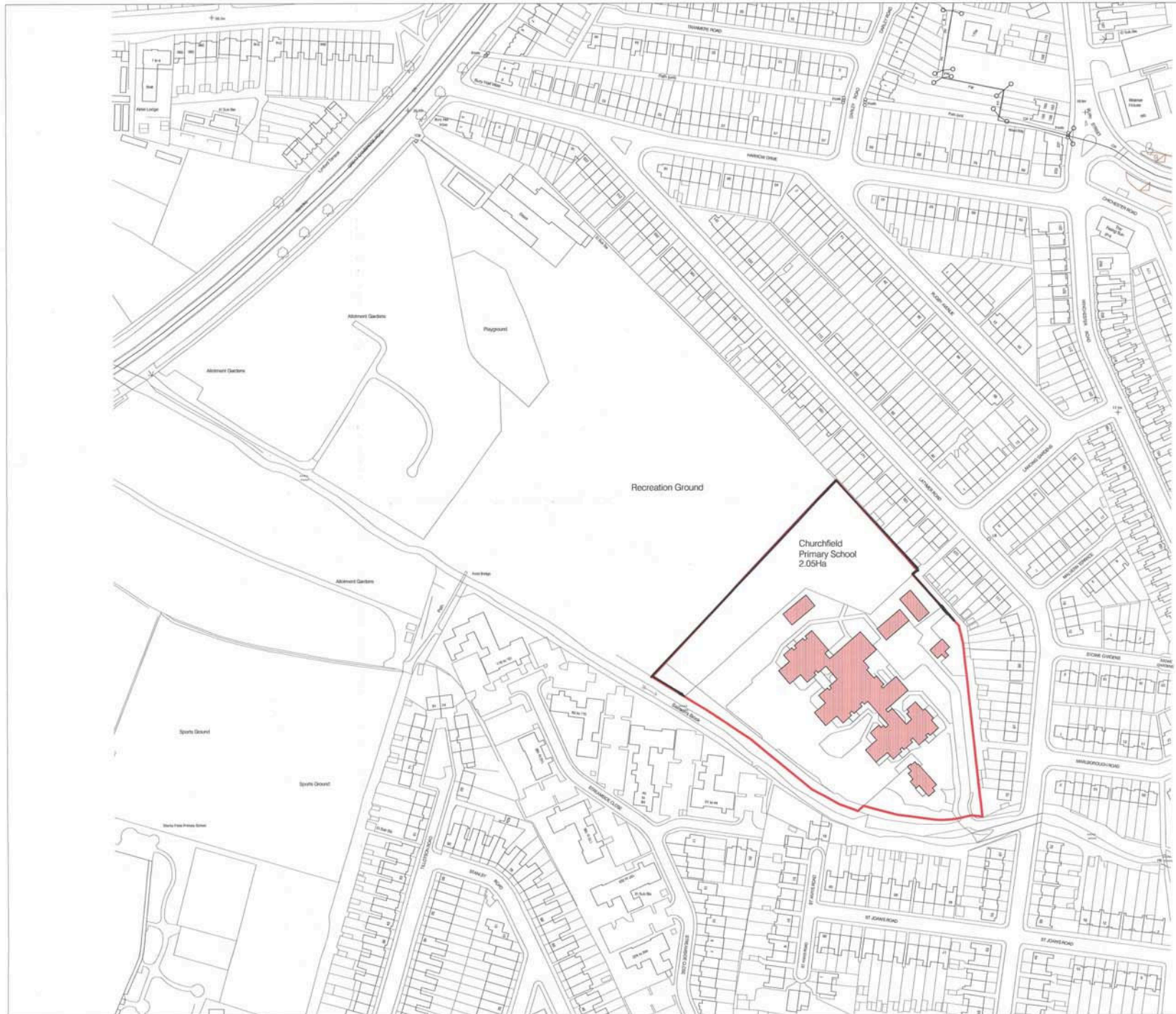
Key
New
Perimeter Fence

LONDON BOROUGH OF CHIFFIELD
21 MAY 2012
DEVELOPMENT SERVICES

CHURCHFIELD PRIMARY SCHOOL
LATYMER ROAD
EDMONTON
N9 9PL

Drawn	By 1 Churchfield
Date	Scale of A1 1:1000

SITE LOCATION PLAN
AS EXISTING





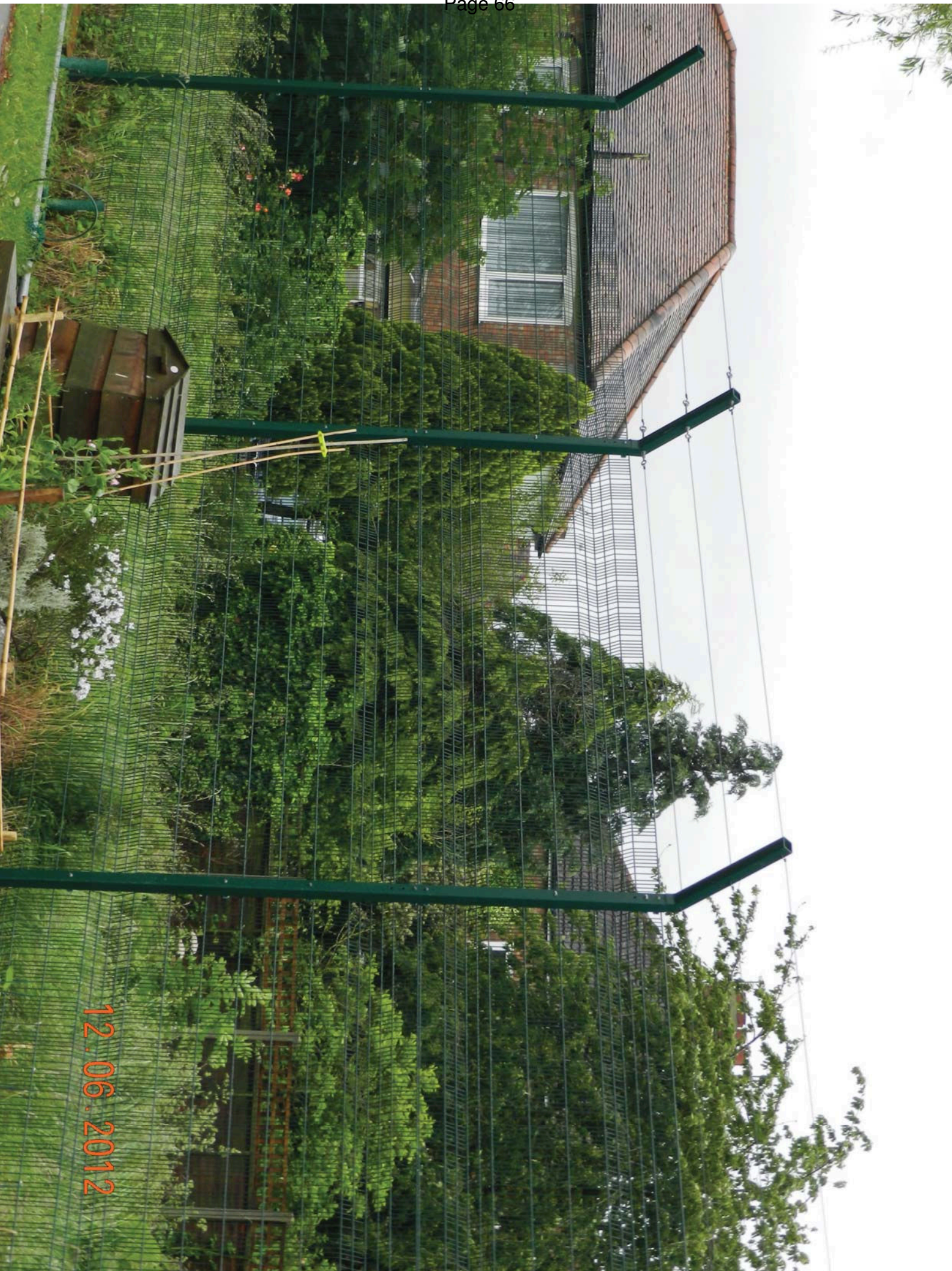
12.06.2012



12.06.2012



12.06.2012



12.06.2012

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mr R. Singleton Tel: 020 8379 3837

Ward: Highlands

Application Number : P12-01298PLA

Category: Other Development

LOCATION: GRANGE PARK PRIMARY SCHOOL, WORLDS END LANE, LONDON, N21 1PP

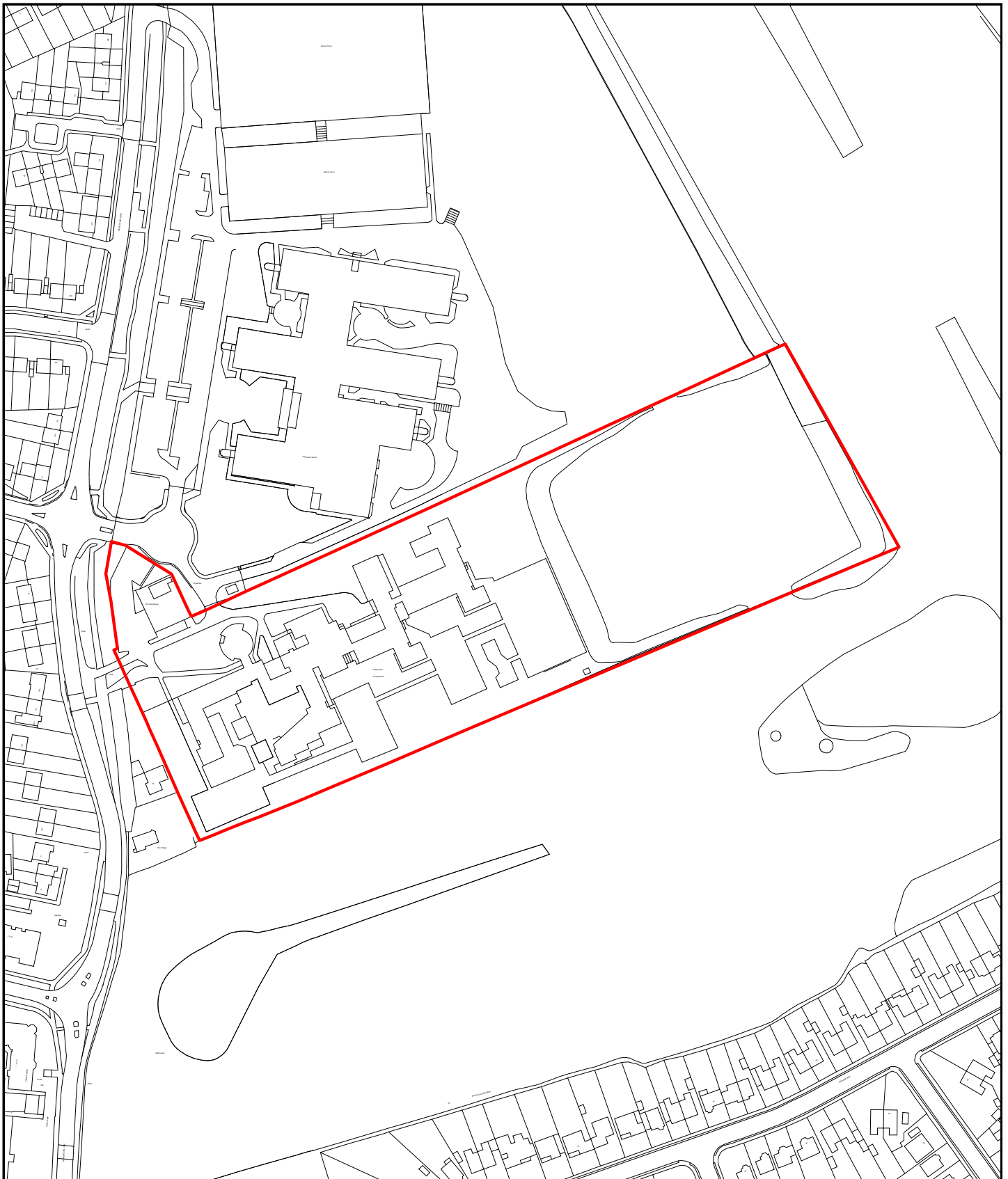
PROPOSAL: Erection of single storey temporary classroom unit with integral toilets and emergency access stairs with associated fencing

Applicant Name & Address:
Director of Education Childrens Services
and Leisure
London Borough of Enfield
PO BOX 50, CIVIC CENTRE
SILVER STREET,
ENFIELD,
EN1 3XA

Agent Name & Address:
Architectural Services
London Borough of Enfield
PO BOX 50, CIVIC CENTRE
SILVER STREET,
ENFIELD,
EN1 3XA

RECOMMENDATION:

That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be **GRANTED** subject to conditions



Development Control



Scale - 1:2500
Time of plot: 14:10

Date of plot: 05/07/2012

1. Site and Surroundings

- 1.1 Grange Park Primary School is located to the east side of the classified Worlds End Lane. The site is bounded by residential development to the west, namely Highlands Village with Highlands School to the north. The Grange Park Golf surrounds the remainder of the site.
- 1.2 The sole entrance to the site is from Worlds End Lane for both vehicular and pedestrian traffic.

2. Proposal

- 2.1 Permission is sought to temporarily expand the existing school to accommodate a single bulge class from the oncoming academic year containing a maximum of 30 pupils to provide temporary accommodation in response to the current demand for primary places across the Borough. Following the progression of the bulge class to this academic year group through the school, the school will revert to current pupil numbers.
- 2.2 The proposed detached modular installation is set to be located to a central courtyard already occupied by two detached temporary classroom areas. The modular installation measures 10.95m wide by 8.11m deep and would stand a maximum of 4.2m high with a flat roof, resulting in a reception teaching space of 83.05m². In addition a fire escape located to the southern elevation sees the installation of a staircase 1.9m wide by 5.14m deep and stands some 1.87m high with balustrade.
- 2.3 As a result of works, no additional parking facilities are proposed
- 2.4 Existing play provision to the south-eastern periphery of the site will remain unchanged.
- 2.5 The proposal does not represent a permanent expansion of the school but will provide flexible accommodation to meet the projected demand for places in the area for the current academic year. Grange Park Primary returning to its normal capacity of pupils by September 2019.

3. Relevant Planning Decisions

- 3.1 TP/06/0674 – Single storey extension to provide an additional learning suite – Approved subject to conditions (21/06/06)

4. Consultations

4.1 Statutory and non-statutory consultees

- 4.1.1 Thames Water, Property and Environmental health raise no objections

4.2 Public

- 4.2.1 Consultation letters were sent to 21 neighbouring properties. In addition, notice was displayed at the site. One resident from the surrounding area objected to the proposal on the following basis:

- Increased congestion to Worlds End Lane.

- Additional parking requirements

5. Relevant Policy

5.1 Local Plan – Core Strategy

CP8: Education

CP9: Supporting community cohesion

CP30: Maintaining and improving the quality of the built and open environment

5.2 Unitary Development Plan

(II)GD3 Aesthetic and functional design

(II)GD6 Traffic generation

(II)GD8 Access & servicing

(II)C35 Protection to trees of significance

(II)C37 Good Arboricultural practice

(II)C38 Loss of trees with acknowledged public amenity value

(I)CS1 Community services

(II)CS1 To facilitate through the planning process the work of various community services

(II)CS2 To ensure development for community services complies with the Council's environmental policies

(II)CS3 Optimum use of land

5.2 London Plan

Policy 3.1 Ensuring equal life chances for all

Policy 3.18 Education facilities

Policy 5.3 Sustainable design and construction

Policy 7.1 Building London's neighbourhoods and communities

Policy 7.2 An inclusive environment

5.4 Other Material Considerations

National Planning Policy Framework (NPPF)

6. Analysis

6.1 Principle

- 6.1.1 The principle of development for educational purposes on this site is considered to be acceptable as it is in keeping with the existing use and sympathetic to the residential character of the surrounding area. Moreover, the proposed works are also consistent with Policy CP8 of the Core Strategy, Policies 3.1 and 3.18 of the London Plan as well as guidance contained in the NPPF.

6.2 Effect on Character of Surrounding Area

- 6.2.1 In terms of the works covered by this application, the modular unit by its very nature employs a standardised design with flat aluzing steel roof, plasticol coated steel walls and aluminium windows and doors. While it is recognised that the installation would not be in keeping with the existing character and

appearance of the school, given its siting, the presence of other similar buildings and the fact that it will be completely shielded by existing built form ensures that the module will not be discernible from the public realm having regard to Policy CP30 of the Core Strategy

6.3 Impact on Neighbouring Properties

6.3.1 Due to the nature of the site and its relationship to the surrounding area, the location of the proposed extension to the central courtyard area ensures that any and all impact is contained within the existing built form and therefore would not impact upon residential amenity.

6.4 Highway Safety

6.4.1 The net increase in pupil numbers compared to the existing levels for this singular bulge intake is 30 pupils. While it is understood that the proposal would not increase parking provision at the site it is considered that the proposal would not lead to any significant increase in on street parking when compared with the existing vehicle movements associated with the site.

6.4.2 In addition to this duration being short, it is considered within the overall context of the site that the increase of 30 pupils is considered unlikely to result in a high generation of traffic, and therefore mitigation measures are unlikely to be required. Moreover, from the information provided in the transport statement, it is suggested that the additional intake would have a local catchment (within a mile of the school) and hence it is likely that a number of the pupil movements would be on foot and hence potentially limit the impact of the bulge attendance yet further.

6.3.3 However, to reinforce this position and minimise the potential impact, the development needs to be supported by a travel plan to ensure sustainable transport is encouraged throughout the school. This will be secured through a planning condition. On this basis, as the access to the site is not changing and the increase in pupils is relatively low, there is no objection raised by Traffic and Transportation

6.5 Sustainability

6.5.1 Policy 5.3 of the London Plan seeks to ensure that new development in London achieves the highest standard of design and construction. Based on the specification provided by each of the potential suppliers, it is clear that the constraints inherent in the utilisation of prefabricated construction technique, while ensuring efficient delivery would be unable to significantly exceed current building regulations.

6.5.2 However, Policies 5.2 & 5.3 of the London Plan and Core policy 20 recognises that not all developments are capable of achieving significant improvements over building regulations, and makes provision to mitigate for any shortfall through agreed allowable solutions. In this regard, and following negotiations, the applicant is committed to develop a package of mitigating measures to compensate for any shortfall identified while retaining the overall intention to achieve a minimum 8% improvement over Building Regulations and will feature as a requirement throughout the tendering process. The range of measures will be provided on, near or even off-site and will be negotiated through the planning process.

6.5.3 The agreed package of measures will be secured by condition and will be reported at committee. As a preliminary measure, it has been agreed that a condition should be attached requiring the submission of an Energy Statement following the practical completion of works which would demonstrate the energy efficiency of the development and shall seek to maximise energy efficiency where practicable demonstrating the viability of providing for no less than 8% improvement in total CO₂ emissions. If it is proven and justified, given the constraints of the construction methodology, that an 8% improvement cannot be achieved, the identified shortfall will be delivered via enhancements to other Council led modular expansion schemes currently the subject of planning applications across the borough.

6.5 Biodiversity

6.5.1 The National Planning Policy Framework stipulates that protecting and enhancing the natural, built and historic environment as a component of sustainable development. Although there is no material impact on issues of biodiversity given the utilisation of this brownfield site, it has been identified that there is scope to enhance the biodiversity and ecological value of the site commensurate with and overarching imperative to secure exemplar sustainable design and construction credentials for Council led developments, and in accordance with wider legislative and NPPF requirements. To a large degree this will serve to mitigate for identified shortfalls inherent in utilising modular construction of this type with limited potential to enhance its potential to contribute to SD&C requirements. This has been agreed with the applicant and forms a package of measures to enhance the credentials of development across each of the new modular proposals currently the subject of several planning applications within the borough.

6.5.2 The proposed enhancements will be reported at committee but are likely to include:

- the development of a wildlife area for use as a learning resource,
- provision of allotments for use as a learning resource
- associated landscaping enhancements to the main entrance of the site to discourage informal parking on grass verges and to enhance the visual appearance of the sole entrance of the site

7. **Conclusion**

7.1 The proposal would serve to enhance the facilities offered by the school to the benefit of the children that utilise the site while also contributing to the availability of primary school places across the Borough to meet identified shortfalls. The proposal is also considered compatible with the overarching objectives of planning policy including the emerging objectives of the Core Strategy of the Local Development Framework; in terms of children and young people. Moreover, in relation to the built form, the design size and siting of the proposed extension would integrate into the main building and would not impact upon residential amenity.

7.2 It is considered therefore, that the proposals are acceptable for the following reasons:

- 1 The proposed single storey temporary classroom and associated enhancement of this school actively contributes to the provision of education services for the wider community and thus is compatible of Policies (II)CS1, (II)CS2 and (II)CS3 of the Unitary Development Plan; Core Policies 1 and 16 of the Core Strategy of the Local Development Framework; 3.1 and 3.18 of the London Plan; and, PPS1: Sustainable Development.
- 2 The proposed single storey temporary classroom does not detract from the character and appearance of the surrounding area and would not serve to undermine residential amenity to neighbouring properties having regard to Policy CP30 of the Core Strategy and (II)GD3 of the Unitary Development Plan.
- 3 The proposed development, having regard to its scale and the nature of the development, should not give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highways or prejudice the availability of existing parking, having regard to Policies (II)GD6 and (II)GD8 of the Unitary Development Plan, Policy 6.13 of The London Plan.
- 4 The proposed development, having regard to the package of measures to adapt and mitigate for climate change adequately addresses the strategic objectives of Council for Sustainable Design and Construction consistent with Strategic Objective 2 and Policies CP20, CP21 & CP36 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan and the NPPF.

8. Recommendation

- 8.1 That in accordance with regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions
 - 1 C60 – Drawing numbers
 - 2 Prior to the occupation of the proposed modular buildings, a detailed scheme detailing the proposed ecological and educational resource enhancements, as outlined on Drwg No. ???????? shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the development protects and enhancing the natural, built and historic environment in accordance with the National Planning Policy Framework.
 - 3 Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

- 4 The development shall not commence until a detailed 'Energy Statement' has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall seek to maximise energy efficiency where practicable demonstrating the viability of providing for no less than 8% improvement in total CO₂ emissions arising from the operation of a development and its services over Part L of Building Regs 2010. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, building management services and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to and approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

- 5 C59 Cycle spaces.

- 6 Prior to the commencement of the development hereby permitted, a travel plan shall be submitted to and approved in writing by the local planning authority. The travel plan, as submitted, shall follow the current school travel planning guidance issued by TfL and will include:

(1) Targets for sustainable travel arrangements.

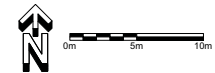
(2) Effective measures for the ongoing monitoring of the travel plan.

Reason: To ensure that the development does not prejudice the free flow of traffic or pedestrian safety.

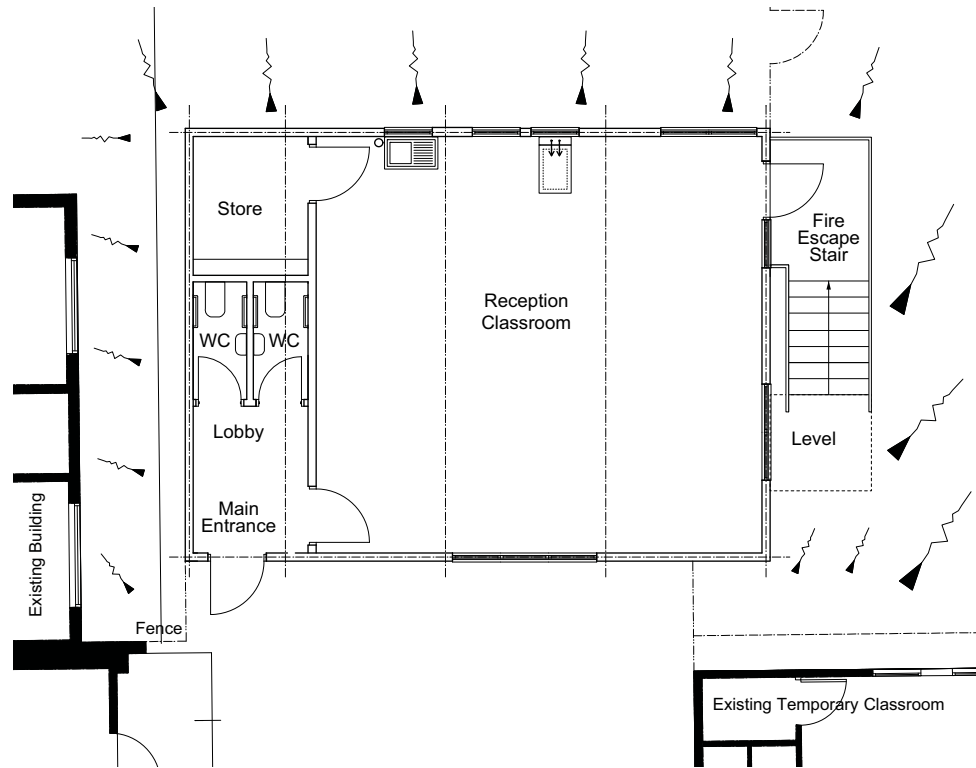
- 7 C51A – Time limited permission.



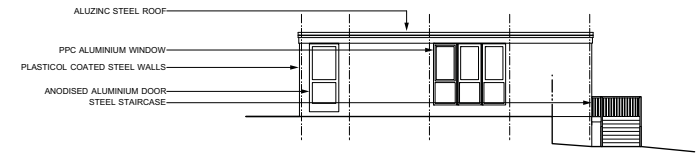
Rev: Date: Notes:
 CAD File No: D:\design\PROJECT_SITE\Grange Park Primary School\Hired Temp Class 2012 - 003350



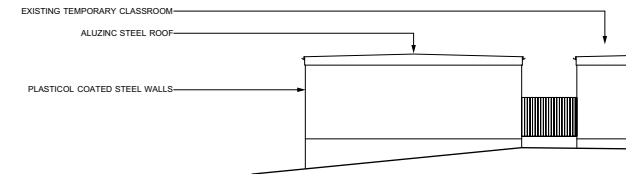
PROJECT: S.O. JAW Scale: 1:200 @ A1 DATE: May 2012 DRAWN BY: JR	PROJECT: Grange Park Primary School Hired Single Temporary Classroom 2012 Drawing Title: Proposed Site Plan
DRAWING NO: Planning	DRAWING NO: D/E238/003350/AL(0)04



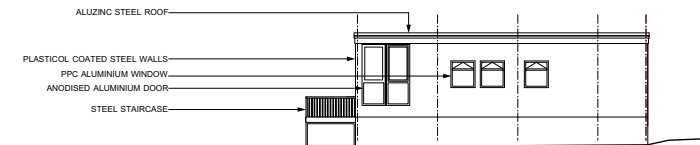
GROUND FLOOR PLAN



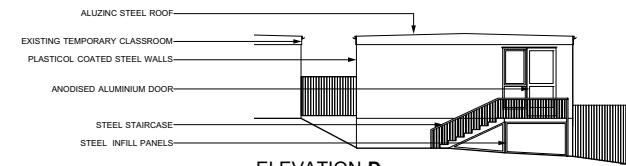
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D



LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mrs J. Rebaïro Tel: 020 8379 3822

Ward: Upper
Edmonton

Application Number : P12-01307LDC

Category: Certificate of Lawfulness

LOCATION: 4, KIMBERLEY ROAD, LONDON, N18 2DP

PROPOSAL: Single storey rear extensions, rear dormer and rooflights to front.

Applicant Name & Address:

Sami Shala
4, KIMBERLEY ROAD,
LONDON,
N18 2DP

Agent Name & Address:

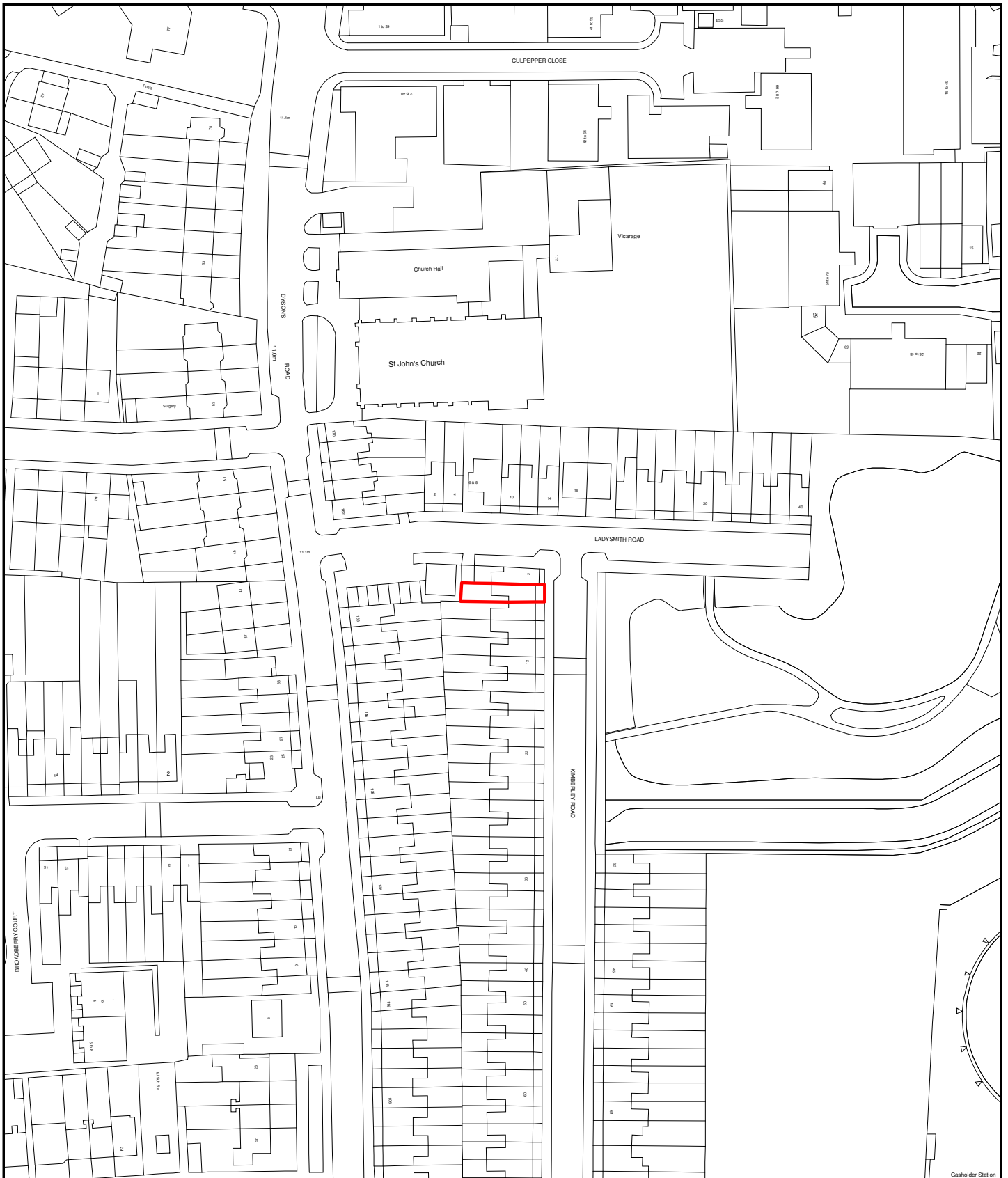
AMIR FAIZOLLAHI,
London Borough of Enfield
Plan Drawing Service
Civic Centre
Silver Street
Enfield
EN1 3XE

RECOMMENDATION:

That a Lawful Development Certificate be issued as the proposal constitutes 'permitted development' by virtue of Article 3 and Schedule 2 Part 1, Class A of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008).

Note for Members

Although the proposal is of a nature that would normally be considered under delegated authority, this application has been submitted by the Plan Drawing Service operated by Development Management. In the interest of openness, it is presently considered appropriate to report the application to the Planning Committee for determination.



Development Control



Scale - 1:1250
Time of plot: 14:12

Date of plot: 05/07/2012

1 Site and Surroundings

- 1.1 A two storey semi-detached mid terrace dwelling house that has not been previously extended. Located within a residential area.

2 Proposal

- 2.1 The application seeks confirmation that the proposed single storey rear extensions with two roof lights, a rear dormer window and soil/vent pipe does not require planning permission under the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (as Amended 2008) and constitutes permitted development.

3 Relevant Planning Decisions

- 3.1 None.

4 Consultation

- 4.1 In accordance with the aforementioned Order, no consultation is required to be carried out as the assessment is based solely on the provisions of the Order and cannot take into account any representations from neighbours regarding effects of the development.

5 Relevant Policy

- 5.1 Not applicable

6 Analysis

- 6.1 The original 2005 Order was amended by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008 and Class A of this Order allows the single family dwelling houses to be extended, in accordance with certain defined parameters, without the need to obtain planning permission.

- 6.2 In this respect Schedule 2, Part 1, Class A, allows the enlargement, improvement or other alteration of a dwelling house provided that:

- (a) as a result of the works, the total area of ground covered by buildings within the curtilage of the dwelling house (other than the original dwelling house) would exceed 50% of the total area of the curtilage (excluding the ground area of the original dwelling house);

= with a footprint of 12.72 sq.m, the total ground coverage would not exceed 50% of the total curtilage

- (b) the height of the part of the dwelling house enlarged, improved or altered would exceed the height of the highest part of the roof of the existing dwelling house;

= the max height of the extension at 2.853 m would not exceed the highest part of the main roof

- (c) the height of the eaves of the part of the dwelling house enlarged, improved or altered would exceed the height of the eaves of the existing dwelling house;

= the eaves height of the extension would not exceed the eaves height of the main roof
- (d) the enlarged part of the dwelling house would have a single storey and—
 - (i) extend beyond the rear wall of the original dwelling house by more than 4 metres in the case of a detached dwelling house, or 3 metres in the case of any other dwelling house, or
 - (ii) exceed 4 metres in height;
= the depth of the extension is 3 metres and its height is 2.8.53. For a terraced property, this is within the specified parameters
- (e) the enlarged part of the dwelling house would have more than one storey

= the extension is single storey
- (f) the enlarged part of the dwelling house would be within 2 metres of the boundary of the curtilage of the dwelling house, and the height of the eaves of the enlarged part would exceed 3 metres; or

= although the extension is within 2 metres of the boundary, eaves height does not exceed 3 metres
- (g) it would consist of or include—
 - (i) the construction or provision of a veranda, balcony or raised platform,
 - (ii) the installation, alteration or replacement of a microwave antenna,
 - (iii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe, or
 - (iv) an alteration to any part of the roof of the dwelling house.
= none are applicable

6.3 It is also a requirement of the Order that the materials used in any exterior work (other than materials used in the construction of a conservatory) shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house; In this instance, brickwork is proposed which reflects that of the main dwelling.

6.4 Class B of the Order allows the enlargement of a dwelling house consisting of an addition or alteration to its roof provided that:

- (a) that no part of the development would, as a result of the works, exceed the height of the highest part of the existing roof;
 - *the top of the dormer does not project above the ridge line of the existing roof*

- (b) no part of the dwelling house would as a result of the works, extend beyond the plane of any existing roof slope, which forms the principal elevation of the dwelling house and fronts a highway;
 - *no part of the dormer window project forward of the main roof plane facing the highway*
- (c) the cubic content of the resulting roof space should not exceed the cubic content of the original roof space by more than 40 cubic metres in the case of a terraced house;
 - the volume of the rear dormer is 12.25 cubic metres
- (d) the works must not involve the construction or provision of a veranda, balcony or raised platform or the installation, alteration of a chimney, flue or soil and vent pipe.
 - none are proposed

6.5 It is also a requirement of the Order that the materials used in any exterior work shall be of similar appearance to those used on the original house. In this instance, the external face of the dormer window is to be tile hung to match the roof which is acceptable. Furthermore, with respect to the rear dormer window it should be set, so far as practicable, no less than 20cm above the eaves of the original roof and that any windows installed in the side elevation shall be obscure glazed and non-opening, unless the openable parts are more than 1.7m above the floor level of the room in which the window is installed. Both criteria are met in this proposal

6.6 Class C of the General Permitted Development Order allows the installation of roof lights providing they don't protrude more 150mm beyond the plane of the roof and do not exceed the highest part of the roof. Roof lights are proposed to the front elevation and meet this requirement

6.7 Class G of the General Permitted Development Order allows the installation, alteration or replacement of a soil and vent pipe provided that the height of the pipe does not exceed the highest part of the roof by 1 metre or more. Again, this element is complied with in respect of the proposed soil pipe.

7.0 Conclusion

7.1 In the light of the above assessment, the proposed single storey rear extensions, rear dormer window, together with the installation of two roof lights to the front elevation and the alteration/extension of the soil and vent pipe, comply with all the above criteria and therefore planning permission is not required.

8.0 Recommendation:

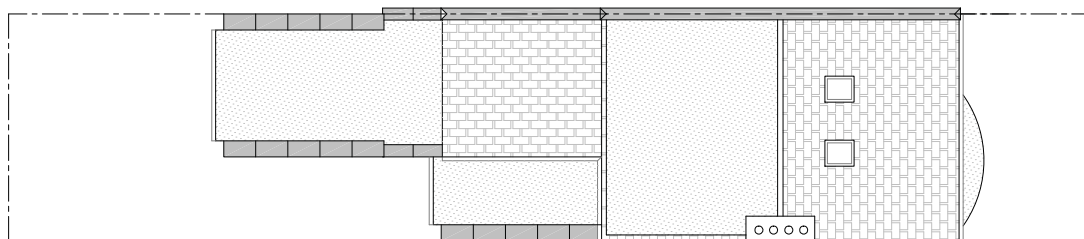
8.1 That a Lawful Development Certificate be issued as the proposal constitutes 'permitted development' by virtue of Article 3 and Schedule 2 Part 1, Class A of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008).

This drawing and design is copyright and must not be reproduced without the prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings. The proposed works may fall within the Party Wall Act 1996. The building owner must notify and obtain formal agreement from adjoining owners. The party wall procedure must be adopted before work commences on site. Please refer to information booklet from www.cadp.org.uk/partywall-1996 or Tel:070 122 8236

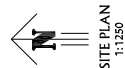


Bin Drawing Service
 Planning Services
 Silver Street, Enfield, Middlesex EN1 3XB
 Tel: 020 8755 3534 Fax: 020 8755 3579
 email: building_control@enfield.gov.uk

Client	Mr Sami Shala		
Project	4 Kimberley Road N18 2DP		
Drawing Title	Block Plan / Site Plan		
Drawing No.	P/S 000	Revision	-
Scale	1:1250 1:100	Size	A3
Drawn by	A.F	Date	20/05/2012



Block Plan 1:100



Scale 1:1250

© Crown copyright and database right 2011
 Ordnance Survey Licence no. 1000146230

This drawing and design is copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

The proposed works may fall within the Party Wall Act 1996. The building owner must notify and obtain formal agreement from the adjoining owner in writing before any works are adopted before work commences on site. Please refer to information booklet from www.odpm.gov.uk/partywall-1996 or Tel:0870 122 6236

Pitched Roof of Loft Conversion (U-Value of 0.18 W/m sq K)

Existing 100x50mm rafters to be maintained. New 150x50mm C16 rafters to be added to existing rafters using coach screws (90mm long x 6mm) from ridge-board to new attic wall. Position breathable membrane on top allowing for 25mm drapes. New 38x25mm treated battens nailed to rafters and finished with matching tiles. Provide eaves carrier into gutting system.

Apply a single row of 50x50mm joists to be double jointed between the rafters using 120mm Calorex G4/G00 and 35mm to the underside. Provide a 25mm air-gap above the insulation for ventilation. Provide 300mm mineral wool insulation to floor of storage attic (achieve 0.16 W/m sq K).

Flat Roof of Dormer (U-Value of 0.18 W/m sq K)

150x50mm C24 flat roof joists @ 400 c/c. Support and bearing of joists on timber line (2No 150x50mm) supported on truss clips. Other end of joists to sit on bottom flange of ridge beam. Position noggings (38mm x half the depth of the joist) between the joist to prevent twisting. Provide 150x30x35mm restraint clips on joist to dormer gables. Provide metal flex-band to hold joist clips to rafters. Provide 100x50mm joists to be positioned on top of joists to achieve a 140 fall. 18mm WBP plywood to be used as decking and secured to perimeter of flat roof and secure in place using screws. Install 120mm Kingspan insulation between flat roof joists and 20mm insulation above the insulation. Provide 25mm continuous ventilation to underside of soffit. Cover flat roof with 2 layers of torch-on underlay felt and finish with 1 layer of mineral felt to B.S 747. Use only high performance felt (A-C fire rating) and provide certificate to L.A. Inspector. Code 4 felt to be used as finishing where required. All external timber to be treated, preservative treated and protected with a preservative vapour control barrier as requested by the manufacturer where necessary.

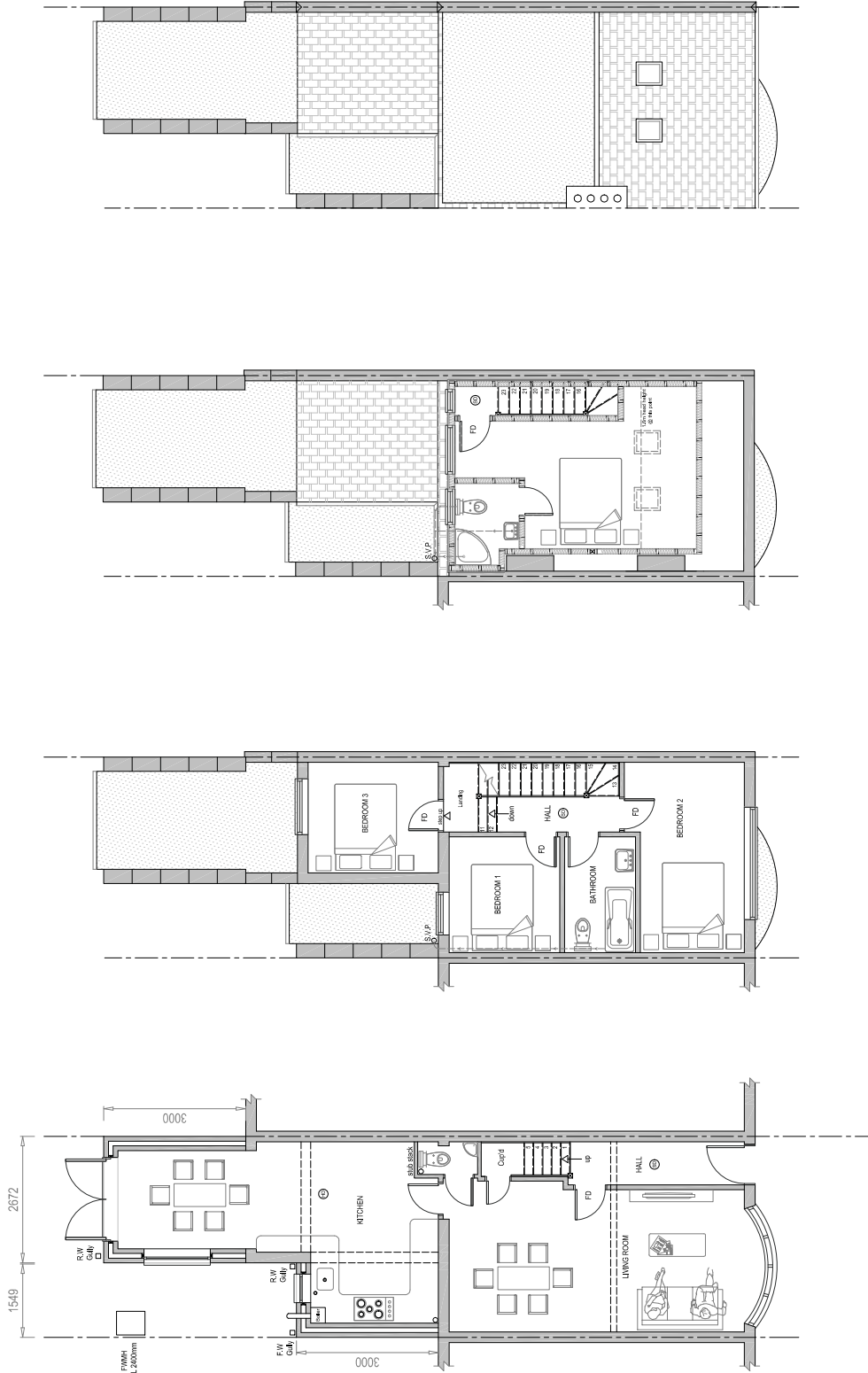
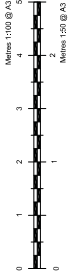
Floor Structure of New Loft

22mm T&G flooring to be screws to 175x50mm joists at 300mm c/c. Noggings to be provided every 2.0m c/c. Support floor joists on truss clips. Provide metal flex-band to restrain joists either side of beam. Provide metal flex-band to restrain joists either side of beam. 100mm (density of 10kg/m3) mineral wool insulation placed on chicken wire. New timber components to be 38mm away from chimney breasts. Waterproof T&G chipboard to be provided in toilets, bathrooms and shower rooms.



Plan Drawing Services
PO Box 53, Civic Centre,
Silver Street, Enfield, Middlesex EN1 3JG
Tel: 020 8379 3624 Fax: 020 8379 3679
email: planning.enfield@enfield.gov.uk

Client	Mr Saml Shala		
Project	4 Kimberly Road N18 2DP		
Drawing Title	Proposed	Revision	-
Drawing No.	PIS 003	Scale	A3
Scale	1:100	Drawn by	A.F
Drawn by	A.F	Date	20/05/2012



PROPOSED GROUND FLOOR

PROPOSED FIRST FLOOR

PROPOSED SECOND FLOOR

PROPOSED ROOF PLAN

This drawing and design is copyright and must not be reproduced in part or in whole without prior written consent. Contractors must verify all dimensions on site before commencing work or preparing shop drawings.

The proposed works may fall within the Party Wall Act 1996. The building owner must notify and obtain formal agreement from the adjoining owner. For more information please see the approved booklet from www.odpm.gov.uk/partywall-1996 or Tel 0870 122 9236

Stairs

New stairs to be pre-fabricated and installed by manufacturer. Position of trimmer for stairs to be determined by the stair fabricator in order for retained nosing to sit directly on trimmer. Max riser 220mm, min tread 220mm at the points measured at half straight flight width from nosing and all be equal. Max pitch of 42 deg. The tapered treads to have a minimum going of 50mm (nosing to nosing) at the nosel post. Continuous handrail to be positioned 900-1000mm from string line. Sprindles to be max 100mm apart. Length of landing on top of stairs to be at least the same width as the stairs. 2m clear headroom to be provided from string line to nosing. Stairs to be finished with slip resistant made worse. Balustrades to fit nosing and handrails to be 900mm high with vertical balusters spaced less than 100mm apart.

Ventilation

Background ventilation equivalent to 5000mm sq via ridge vents with 250mm dia. roof vents. Mechanical ventilation to be provided to kitchen capable of extracting at a rate of 60lts per second or 30lts when incorporated into hood. Air to be ducted to open air using 100mm ducting. Mechanical extractor fan to be installed in kitchen. Bathroom to have a ceiling mounted extractor fan with suitable ducts to be 150mm dia. on flat roof. Mechanical extractor fans to be tested by installer prior to completion of work. 10mm gap to be provided to underside of door.

Waste Pipes, Traps & Drainage

100mm diameter pipe to be used for W.C with 50mm deep sealed trap. 40mm diameter pipes to be used for sinks and showers with 75mm deep sealed trap. 32mm diameter pipes to be used for wash hand basins with a 75mm deep seal trap. All drainage to comply with Approved Document H.

Electrical certificates

Electrical work to meet the requirements of part P (Electrical safety), which must be designed, installed, inspected and certified to be issued once work is complete. Recessed lightings to have fire hoods (only where floor above)

Gas Appliances

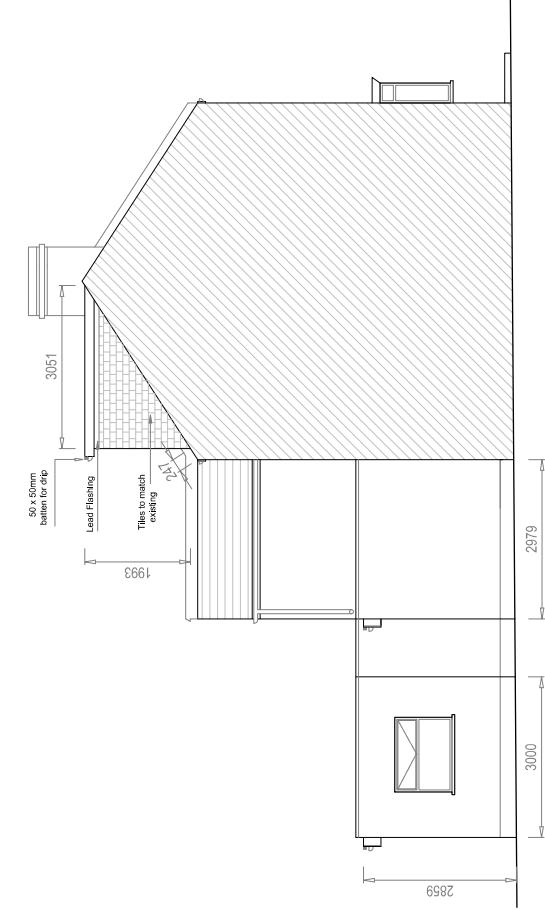
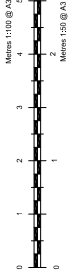
Gas appliances to be installed by a Gas Safe registered installer and certificate must be provided to owner. Energy efficient combi-boiler to be installed (Scotbak 96% rating). All pipes to be insulated. All radiators to have thermostatic valves. Position of boiler flue to be min. 300mm away from a window and/or boundary. Manufacturers literature for operating the boiler to be forwarded to the owner.



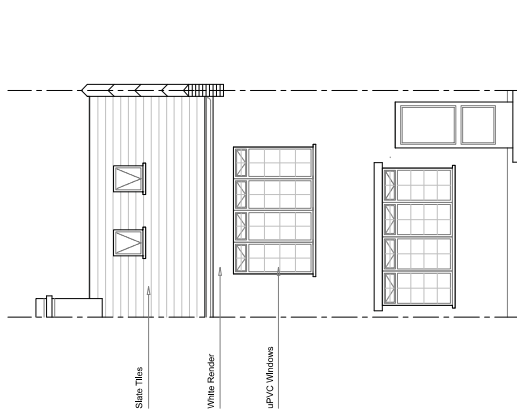
Plan Drawing Services
PO Box 53, Civic Centre,
Silver Street, Enfield, Middlesex EN1 3JH
Tel: 020 8379 3824, fax: 020 8379 3879
email: d.dalling@enfield.gov.uk

Client	Mr Sami Shala		
Project	4 Kimberley Road N18 2DP		
Drawing Title	Proposed		
Drawing No.	PIS 005	Revision	A
Scale	1:100	Size	A3
Drawn by	A.F	Date	20/05/2012

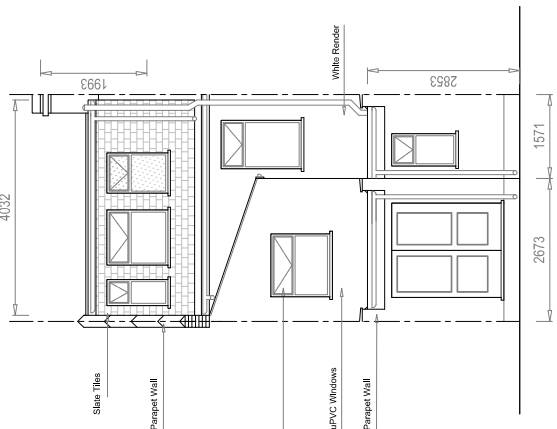
PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED BACK ELEVATION



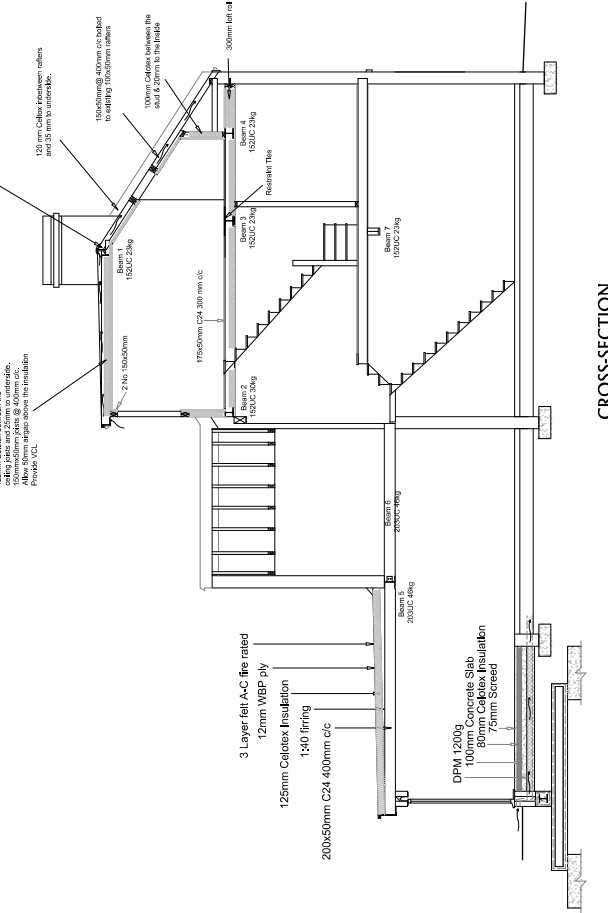
All to be finished from floor level up to ceiling

150mm dia pipe between the ceiling joists and 20mm from the ceiling. Provide VCL.

3 Layer felt/AC fire rated
12mm WBP ply
125mm Celotex Insulation
140 liring
200x50mm C24-400mm c/c

DPM 1500g
100mm Concrete Slab
80mm Celotex Insulation
75mm Screenshot

CROSS-SECTION



LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mrs J. Rebaire Tel: 020 8379 3822

Ward:
Winchmore Hill

Application Number : P12-01371LDC

Category: Certificate of Lawfulness

LOCATION: 205, FIRS LANE, LONDON, N21 3HY

PROPOSAL: Single storey rear extension with 3x roof lights.

Applicant Name & Address:

Mr Philip Hallwood
205, FIRS LANE,
LONDON,
N21 3HY

Agent Name & Address:

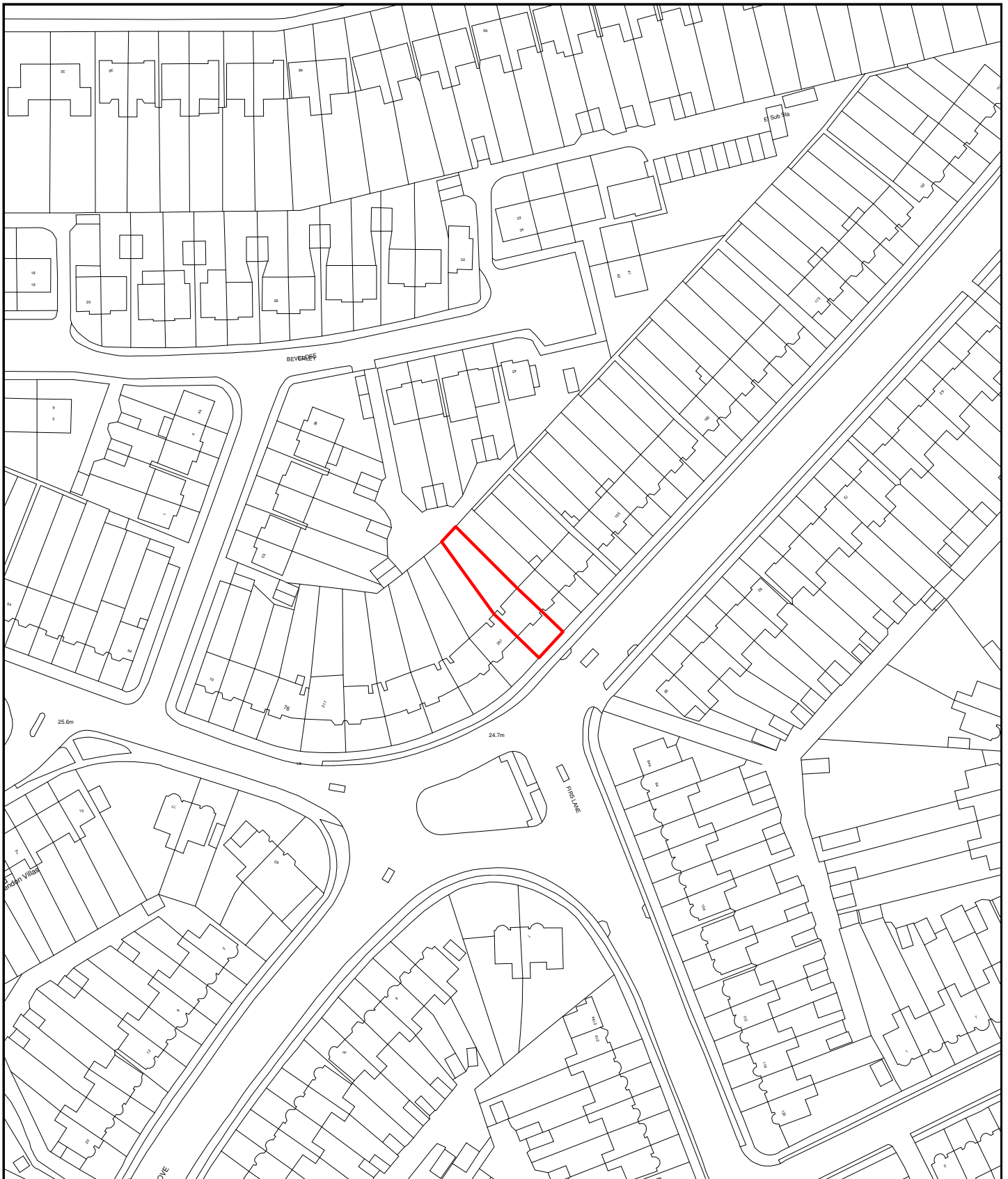
Mr AMIR FAIZOLLAHI,
Plan Drawing Service (LBE)
Planning Department
Civic Centre
Silver Street
Enfield
EN1 3XE

RECOMMENDATION:

That a Lawful Development Certificate be issued as the proposal constitutes 'permitted development' by virtue of Article 3 and Schedule 2 Part 1, Class A of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008).

Note for Members

Although the proposal is of a nature that would normally be considered under delegated authority, this application has been submitted by the Plan Drawing Service operated by Development Management. In the interest of openness, it is presently considered appropriate to report the application to the Planning Committee for determination.



Development Control



Scale - 1:1250
Time of plot: 14:14

Date of plot: 05/07/2012

1 Site and Surroundings

- 1.1 A two storey end of terrace property with a garage to side. There are no previous extensions to the property which is located within a residential area

2 Proposal

- 2.1 The application seeks confirmation that the proposed single storey rear extension with three roof lights, does not require planning permission under the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (as Amended 2008) and constitutes permitted development.

3 Relevant Planning Decisions

- 3.1 None.

4 Consultation

- 4.1 In accordance with the aforementioned Order, no consultation is required to be carried out as the assessment is based solely on the provisions of the Order and cannot take into account any representations from neighbours regarding effects of the development.

5 Relevant Policy

- 5.1 Not applicable

6 Analysis

- 6.1 The original 2005 Order was amended by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008 and Class A of this Order allows the single family dwelling houses to be extended, in accordance with certain defined parameters, without the need to obtain planning permission.

- 6.2 In this respect Schedule 2, Part 1, Class A, allows the enlargement, improvement or other alteration of a dwelling house provided that:

- (a) as a result of the works, the total area of ground covered by buildings within the curtilage of the dwelling house (other than the original dwelling house) would exceed 50% of the total area of the curtilage (excluding the ground area of the original dwelling house);

= with a footprint of 18.18 sq.m, the total ground coverage would not exceed 50% of the total curtilage

- (b) the height of the part of the dwelling house enlarged, improved or altered would exceed the height of the highest part of the roof of the existing dwelling house;

= the max height of the extension at 3.8 metres would not exceed the highest part of the main roof

- (c) the height of the eaves of the part of the dwelling house enlarged, improved or altered would exceed the height of the eaves of the existing dwelling house;

= the eaves height of the extension would not exceed the eaves height of the main roof
- (d) the enlarged part of the dwelling house would have a single storey and—
 - (i) extend beyond the rear wall of the original dwelling house by more than 4 metres in the case of a detached dwelling house, or 3 metres in the case of any other dwelling house, or
 - (ii) exceed 4 metres in height;
= the depth of the extension is 3 metres and its height is 3.8 metres which is within the specified parameters
- (e) the enlarged part of the dwelling house would have more than one storey

= the extension is single storey
- (f) the enlarged part of the dwelling house would be within 2 metres of the boundary of the curtilage of the dwelling house, and the height of the eaves of the enlarged part would exceed 3 metres; or

= although the extension is within 2 metres of the boundary, eaves height does not exceed 3 metres
- (g) it would consist of or include—
 - (i) the construction or provision of a veranda, balcony or raised platform,
 - (ii) the installation, alteration or replacement of a microwave antenna,
 - (iii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe, or
 - (iv) an alteration to any part of the roof of the dwelling house.
= none are applicable

6.3 It is also a requirement of the Order that the materials used in any exterior work (other than materials used in the construction of a conservatory) shall be of a similar appearance to those used in the construction of the exterior of the existing dwelling house; In this instance, brickwork is proposed which reflects that of the main dwelling

6.4 The single storey rear extension with three roof lights complies with all the above criteria and therefore planning permission is not required.

7. Conclusion

7.1 IN the light of the above assessment, it is considered the single storey rear extension represents permitted development

8 Recommendation:

- 8.1 That a Lawful Development Certificate be issued as the proposal constitutes 'permitted development' by virtue of Article 3 and Schedule 2 Part 1, Class A of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) by the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008).

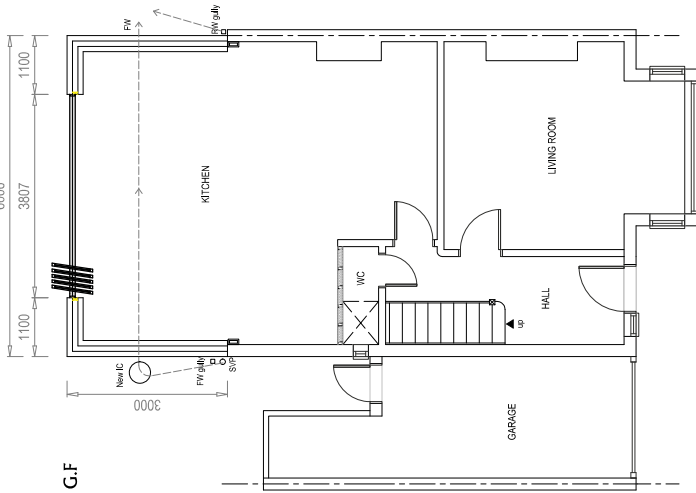
This drawing and design is copyright and must not be reproduced without the written consent of the architect. Contractors must verify all dimensions on site before commencing work or preparing shop drawings. The proposed works may fall within the Party Wall Act 1996. The building owner must notify and obtain formal agreement from adjoining owners. The party wall procedure must be adopted before work commences on site. Please refer to information booklet from www.cadpim.gov.uk/partywall-1996 or Tel 0870 742 6236



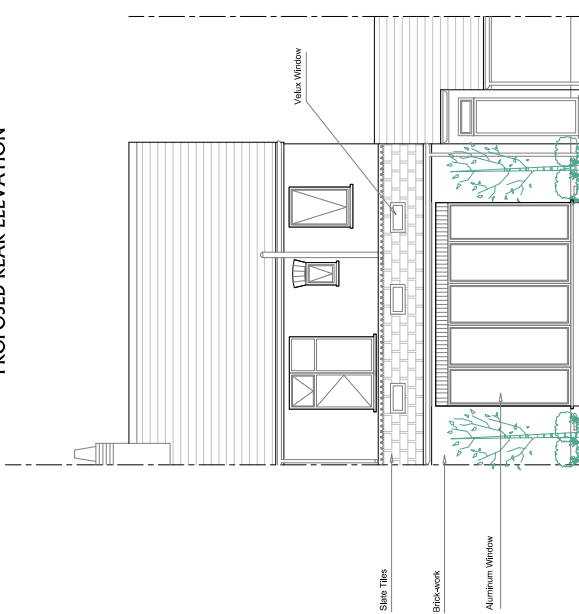
Pin Drawing Services
 100, The Old Coach House,
 Silver Street, Enfield, Middlesex EN1 3XB
 Tel: 020 8770 3634 Fax: 020 8770 3679
 email: building.control@enfield.gov.uk

Client	Mr Philip Hallwood		
Project	205 Firs Lane NZ1 3HY		
Drawing Title	PROPOSED		
Drawing No.	P/S 002	Revision	-
Scale	1:100	Size	A3
Drawn by	A.F	Date	28/05/2012

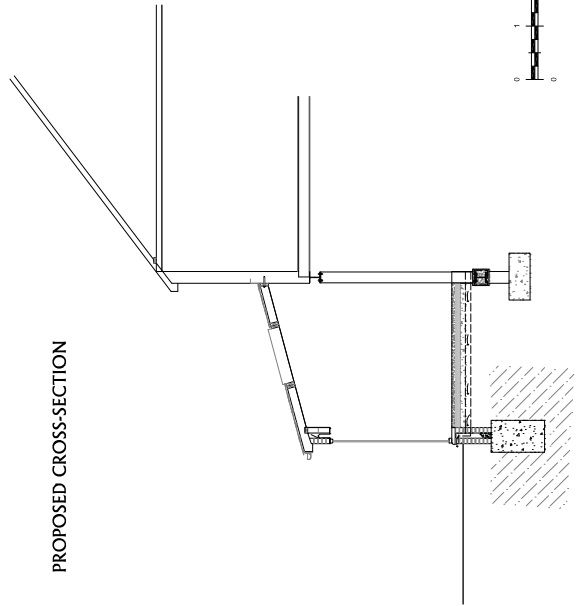
PROPOSED G.F



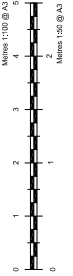
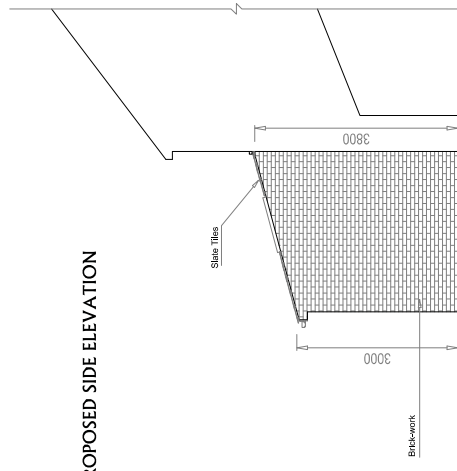
PROPOSED REAR ELEVATION



PROPOSED CROSS-SECTION



PROPOSED SIDE ELEVATION



LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of
Assistant Director, Planning &
Environmental Protection

Contact Officer:
Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mr R. Singleton Tel: 020 8379 3837

Ward: Highlands

Application Number : P12-01395PLA

Category: Other Development

LOCATION: RAYNHAM PRIMARY SCHOOL, RAYNHAM AVENUE, LONDON, N18 2JQ

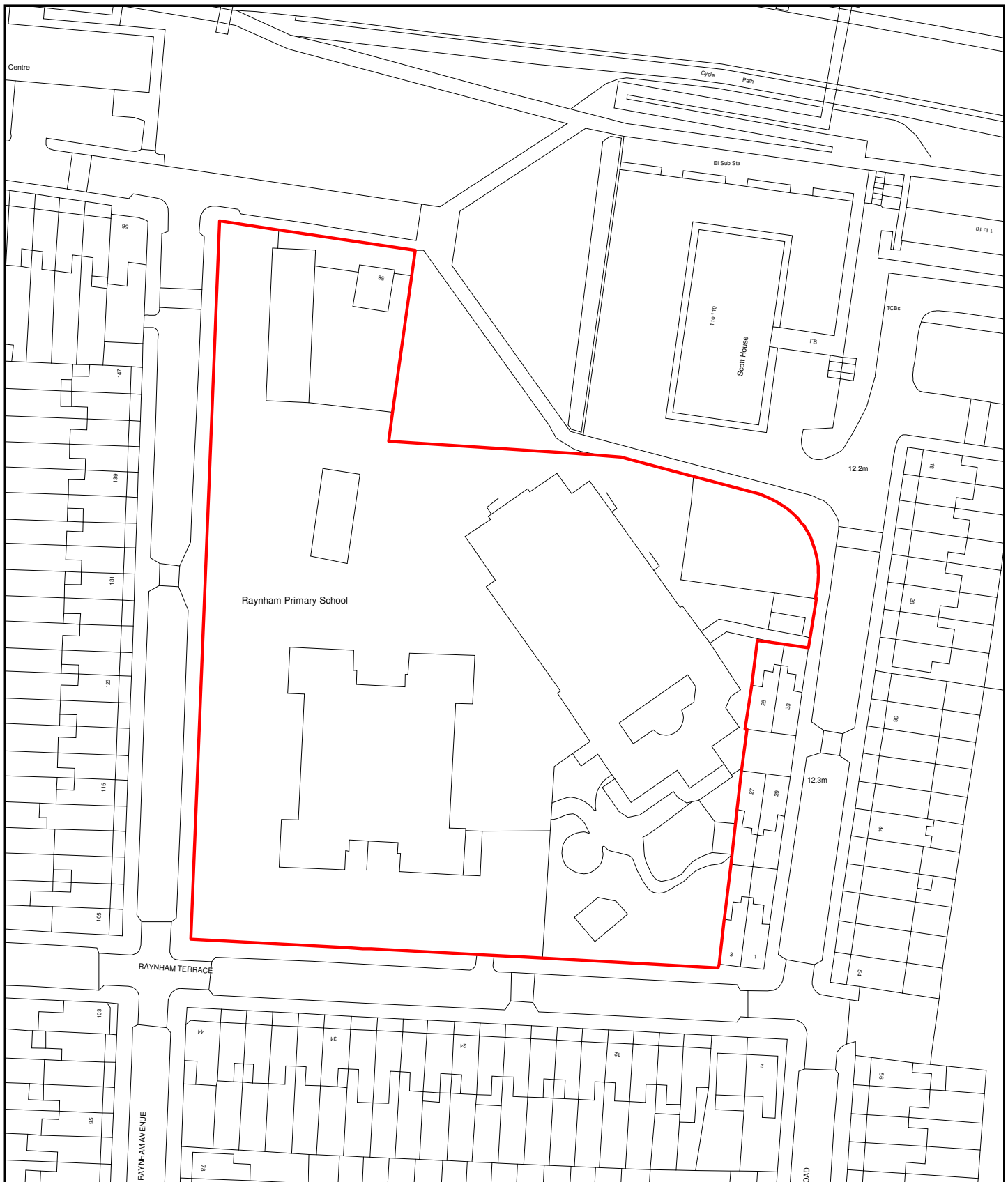
PROPOSAL: Single storey detached music building with ramped access and associated fencing

Applicant Name & Address:
Director of Education Childrens Services
and Leisure
London Borough of Enfield
PO BOX 50, CIVIC CENTRE
SILVER STREET,
ENFIELD,
EN1 3XA

Agent Name & Address:
Architectural Services
London Borough of Enfield
PO BOX 50, CIVIC CENTRE
SILVER STREET,
ENFIELD,
EN1 3XA

RECOMMENDATION:

That in accordance with Regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be **GRANTED** subject to conditions



ENFIELD
Council



Development Control



Scale - 1:934
Time of plot: 14:17

Date of plot: 05/07/2012

1. Site and Surroundings

- 1.1 Raynham Primary School is located to the north side of Raynham Avenue. The site is bounded by residential development to the east south and west. To the north the site abuts the A406 trunk road.
- 1.2 Vehicular access to the site is limited to Raynham Terrace, with three pedestrian entrances located to Woolmer Road to the east, Raynham Avenue to the west and Raynham Road to the north.

2. Proposal

- 2.1 Permission is sought to temporarily expand the existing school to accommodate a single bulge class for the oncoming academic year containing a maximum of 30 pupils to provide temporary accommodation in response to the current demand for primary places across the Borough. Following the progression of the bulge class to this academic year group through the school, the school will revert to current pupil numbers.
- 2.2 The temporary building will not house the additional pupil's proposal who will occupy an existing music room within the main building. This however, will be decanted to this temporary structure. The proposal does not represent a permanent expansion of the school but will provide flexible accommodation to meet the projected demand for places in the area for the current academic year with Raynham Primary returning to its normal capacity of pupils by September 2019
- 2.3 The proposed detached modular installation is set to be located to the south of the site adjacent to the existing car park resulting in the loss of 3 car parking spaces. The modular installation measures 6.5m wide by 9.5m deep and would stand a maximum of 3.16m high with a flat roof, resulting in a 57.05m² teaching space. In addition a ramped access wrapped around the northern and eastern elevations provides level access to the site.
- 2.4 New weld mesh fencing to provide requisite site security will be located to the southern and western elevations bounding the car park area. The new fencing will stand 4m in height. Existing play provision will remain unchanged.
- 2.5 The site is within flood zone 2.

3. Relevant Planning Decisions

- 3.1 LBE/05/0001 – Demolition of existing school hut to facilitate single storey extension to early years unit incorporating internal courtyard and canopy to front and side together with construction of external hard/soft play area to accommodate maximum of 32 additional children – Approved subject to conditions (04/07/05)

4. Consultations

- 4.1 Statutory and non-statutory consultees
 - 4.1.1 Thames Water, Environment Agency, Property and Environmental Health raise no objections

4.2 Public

- 4.2.1 Consultation letters were sent to 19 neighbouring properties. In addition, notice was displayed at the site. No objections were raised

5. Relevant Policy

5.1 Local Plan – Core Strategy

CP8:	Education
CP9:	Supporting community cohesion
CP30:	Maintaining and improving the quality of the built and open environment

5.2 Unitary Development Plan

(II)GD3	Aesthetic and functional design
(II)GD6	Traffic generation
(II)GD8	Access & servicing
(II)C35	Protection to trees of significance
(II)C37	Good Arboricultural practice
(II)C38	Loss of trees with acknowledged public amenity value
(I)CS1	Community services
(II)CS1	To facilitate through the planning process the work of various community services
(II)CS2	To ensure development for community services complies with the Council's environmental policies
(II)CS3	Optimum use of land

5.2 London Plan

Policy 3.1	Ensuring equal life chances for all
Policy 3.18	Education facilities
Policy 5.3	Sustainable design and construction
Policy 7.1	Building London's neighbourhoods and communities
Policy 7.2	An inclusive environment

5.4 Other Material Considerations

National Planning Policy Framework (NPPF)

6. Analysis

6.1 Principle

- 6.1.1 The principle of development for educational purposes on this site is considered to be acceptable as it is in keeping with the existing use and sympathetic to the residential character of the surrounding area. Moreover, the proposed works are also consistent with Policy CP8 of the Core Strategy, Policies 3.1 and 3.18 of the London Plan as well as guidance contained in the NPPF.

6.2 Effect on Character of Surrounding Area

- 6.2.1 The modular unit by its very nature employs a standardised design with timber clad walls and aluminium fenestration. While it is recognised that the installation would not be in keeping with the existing character and appearance of the school, the timber cladding will soften its appearance and enhance its appearance. As such, it is considered that the module would satisfactorily integrate into the main school having regard to Policy CP30 of the Core Strategy.
- 6.2.2 There is no objection in principle to the erection of fencing to enclose the proposed music room. Moreover, the need to provide enhanced security for this community resource is acknowledged.
- 6.2.3 Weld mesh fencing of the colour and style proposed, although 4m in height, has been accepted at other school locations and given the separation of the installation to Raynham terrace afforded by the retained car park as well as the visual permeability and sympathetic colouring of the fencing, it is not considered that it would not appear unduly solid or obtrusive when viewed from the surrounding area.
- 6.3 Impact on Neighbouring Properties
- 6.3.1 Due to the nature of the site and its relationship to the surrounding area, the location of the proposed modular room to this island site ensures that any and all impact is contained within the existing built form and therefore would not impact upon residential amenity.
- 6.4 Highway Safety
- 6.4.1 The net increase in pupil numbers compared to the existing levels for this singular bulge intake is 30 pupils for the duration of their time at the school. While it is understood that the proposal would not seek to increase parking provision at the site to accommodate the bulge intake (in fact the siting of the modular building results in a loss of 3 spaces), it is considered that the proposal would not lead to any material increase in on street parking when compared with the existing vehicle movements associated with the site.
- 6.4.2 In addition it is considered within the overall context of the site that the increase of 30 pupils is considered unlikely to result in a high generation of traffic, and therefore mitigation measures are unlikely to be required. Moreover, from the information provided in the transport statement, it is suggested that the additional intake would have a local catchment (within a mile of the school) and hence it is likely that a number of the pupil movements would be on foot and hence potentially limit the impact of the bulge attendance yet further.
- 6.3.3 However, to reinforce this position and minimise the potential impact, the development needs to be supported by a travel plan to ensure sustainable transport is encouraged throughout the school. This will be secured through a planning condition. On this basis, as the access to the site is not changing and the increase in pupils is relatively low, there is no objection raised by Traffic and Transportation
- 6.5 Sustainability

- 6.5.1 Policy 5.3 of the London Plan seeks to ensure that new development in London achieves the highest standard of design and construction. Based on the specification provided by each of the potential suppliers, it is clear that the constraints inherent in the utilisation of prefabricated construction technique, while ensuring efficient delivery would be unable to significantly exceed current building regulations.
- 6.5.2 However, Policies 5.2 & 5.3 of the London Plan and Policy 20 of the Cire Strategy recognise that not all developments are capable of achieving significant improvements over building regulations, and makes provision to mitigate for any shortfall through agreed allowable solutions. In this regard, and following negotiations, the applicant is committed to develop a package of mitigating measures to compensate for any shortfall identified while retaining the overall intention to achieve a minimum 8% improvement over Building Regulations and will feature as a requirement throughout the tendering process. The range of measures will be provided on, near or even off-site and will be negotiated through the planning process.
- 6.5.3 The agreed package of measures will be secured by condition and will be reported at committee. As a preliminary measure, it has been agreed that a condition should be attached requiring the submission of an Energy Statement following the practical completion of works which would demonstrate the energy efficiency of the development and shall seek to maximise energy efficiency where practicable demonstrating the viability of providing for no less than 8% improvement in total CO₂ emissions. If it is proven and justified, given the constraints of the construction methodology, that an 8% improvement cannot be achieved, the identified shortfall will be delivered via enhancements to other Council led modular expansion schemes currently the subject of planning applications across the borough.

6.6 Biodiversity

- 6.6.1 The National Planning Policy Framework stipulates that protecting and enhancing the natural, built and historic environment as a component of sustainable development. Although there is no material impact on issues of biodiversity given the utilisation of this brownfield site, it has been identified that there is scope to enhance the biodiversity and ecological value of the site commensurate with and overarching imperative to secure exemplar sustainable design and construction credentials for Council led developments, in accordance with wider legislative and NPPF requirements. To a large degree this will serve to mitigate for identified shortfalls inherent in utilising modular construction of this type with limited potential to enhance its potential to contribute to SD&C requirements. This has been agreed with the applicant and forms a package of measures to enhance the credentials of development across each of the new modular proposals currently the subject of several planning applications within the borough.
- 6.6.2 The proposed enhancements will be reported at committee but are likely to include:
- the development of a wildlife area for use as a learning resource,
 - provision of allotments for use as a learning resource
 - associated landscaping enhancements to the main entrance of the site to discourage informal parking on grass verges and to enhance the visual appearance of the sole entrance of the site

6.7 Flood Risk

- 6.7.1 In consultation with the Environment Agency, no objection is raised with the Flood Risk Standing Advice is applicable to determine if further consultation is required. The Environment Agency are not required to be consulted and standing advice secure by directive is applicable.

7. Conclusion

- 7.1 The proposal would serve to enhance the facilities offered by the school to the benefit of the children that utilise the site while also contributing to the availability of primary school places across the Borough to meet identified shortfalls. The proposal is also considered compatible with the overarching objectives of planning policy including the emerging objectives of the Core Strategy of the Local Development Framework; in terms of children and young people. Moreover, in relation to the built form, the design size and siting of the proposed extension would integrate into the main building and would not impact upon residential amenity.
- 7.2 It is considered therefore, that the proposals are acceptable for the following reasons:
- 1 The proposed single storey temporary classroom and associated enhancement of this school actively contributes to the provision of education services for the wider community and thus is compatible of Policies (II)CS1, (II)CS2 and (II)CS3 of the Unitary Development Plan; Core Policies 1 and 16 of the Core Strategy of the Local Development Framework; 3.1 and 3.18 of the London Plan; and, PPS1: Sustainable Development.
 - 2 The proposed single storey temporary classroom does not detract from the character and appearance of the surrounding area and would not serve to undermine residential amenity to neighbouring properties having regard to Policy CP30 of the Core Strategy and (II)GD3 of the Unitary Development Plan.
 - 3 The proposed development, having regard to its scale and the nature of the development, should not give rise to conditions prejudicial to the free flow and safety of traffic on the adjoining highways or prejudice the availability of existing parking, having regard to Policies (II)GD6 and (II)GD8 of the Unitary Development Plan, Policy 6.13 of The London Plan.
 - 4 The proposed development, having regard to the package of measures to adapt and mitigate for climate change adequately addresses the strategic objectives of Council for Sustainable Design and Construction consistent with Strategic Objective 2 and Policies CP20, CP21 & CP36 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan and the NPPF.

8. Recommendation

8.1 That in accordance with regulation 3 of the Town and Country Planning (General) Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions

- 1 C60 – Drawing numbers
- 2 Prior to the occupation of the proposed modular buildings, a detailed scheme detailing the proposed ecological and educational resource enhancements, as outlined on Drwg No. ????????? shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the development protects and enhancing the natural, built and historic environment in accordance with the National Planning Policy Framework.

- 3 Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

- 4 The development shall not commence until a detailed 'Energy Statement' has been submitted and approved in writing by the Local Planning Authority. Submitted details will demonstrate the energy efficiency of the development and shall seek to maximise energy efficiency where practicable demonstrating the viability of providing for no less than 8% improvement in total CO₂ emissions arising from the operation of a development and its services over Part L of Building Regs 2010. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, building management services and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

- 5 C59 Cycle spaces.
- 6 Prior to the commencement of the development hereby permitted, a travel plan shall be submitted to and approved in writing by the local

planning authority. The travel plan, as submitted, shall follow the current school travel planning guidance issued by TfL and will include:

- (1) Targets for sustainable travel arrangements.
- (2) Effective measures for the ongoing monitoring of the travel plan.

Reason: To ensure that the development does not prejudice the free flow of traffic or pedestrian safety.

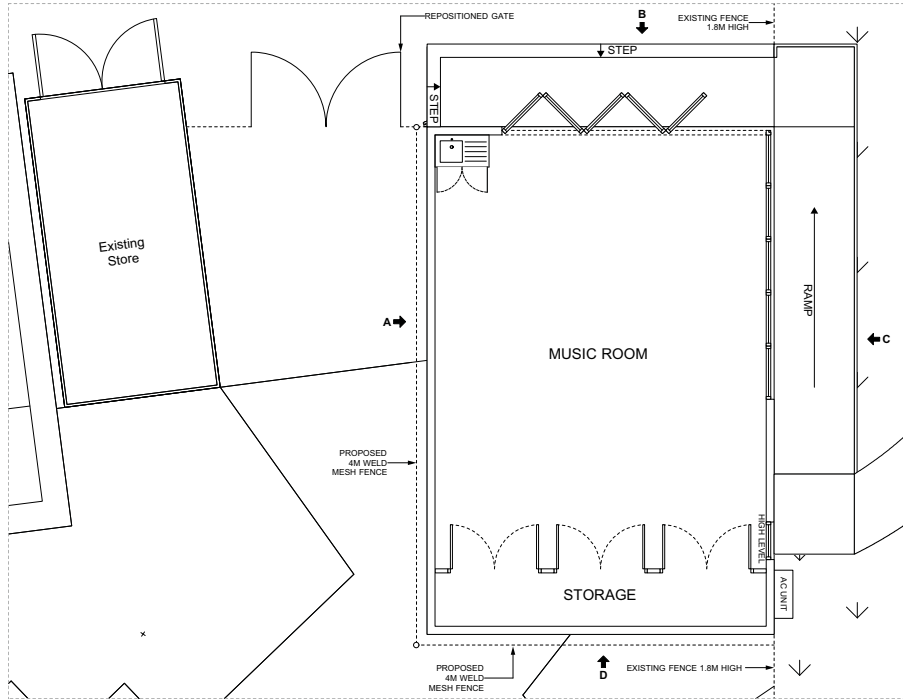
7 C51A – Time limited permission.

Directive

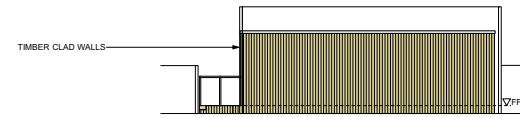
The applicant is advised that the Environment Agency's Flood Risk Standing Advice applies to the development. Selecting the 'More vulnerable development (excluding landfill/waste facilities and caravans) up to 1ha in size' option from cell E5, the applicant is required to follow the advice given. The applicant will need to apply the sequential test to the application then check that the Flood Risk Assessment requirements in the table have been met.

Waste Comments – There are public sewers crossing or close to your development. In order to protect public sewers and to ensure that Thames Water can gain access to those sewers for future repair and maintenance, approval should be sought from Thames Water where the erection of a building or an extension to a building or underpinning work would be over the line of, or would come within 3 metres of, a public sewer. Thames Water will usually refuse such approval in respect of the construction of new buildings, but approval may be granted in some cases for extensions to existing buildings. The applicant is advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the options available at this site.

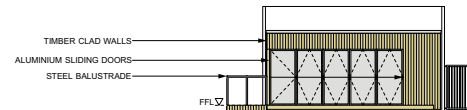
Surface Water Drainage – With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777. Reason - to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.



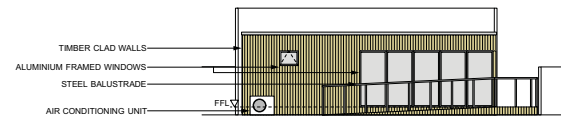
GROUND FLOOR PLAN
SCALE 1 : 50



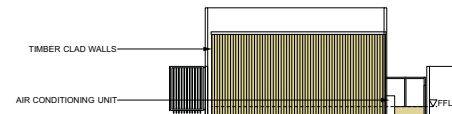
ELEVATION A



ELEVATION B

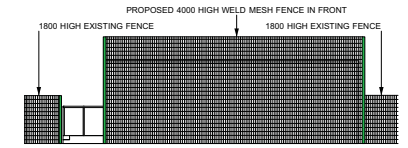


ELEVATION C

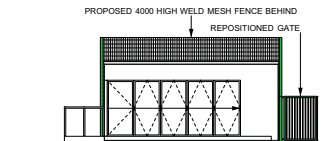


ELEVATION D

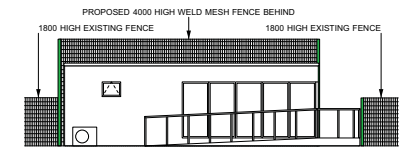
PROPOSED BUILDING ELEVATIONS
SCALE 1 : 100



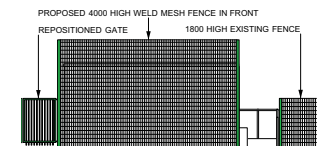
ELEVATION A



ELEVATION B

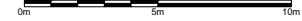


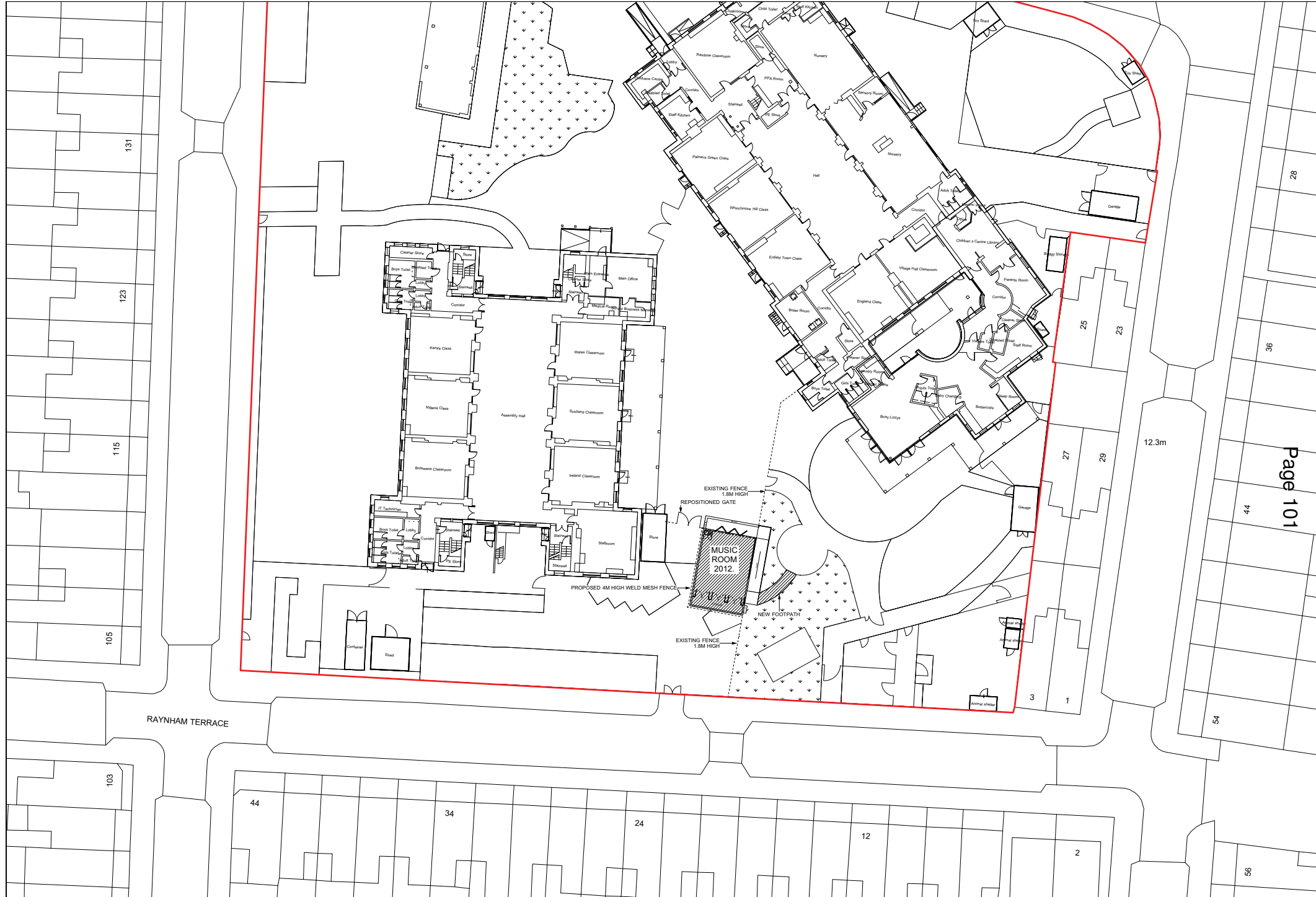
ELEVATION C



ELEVATION D

ELEVATIONS SHOWING
PROPOSED & EXISTING FENCING
SCALE 1 : 100





Rev: A Date: 06/09/12
 Note: Fence annotations amended

G:\04 File No. C:\Users\jg PROJECT_SITE\Raynham Primary School\0_E260_Cuba Music Room 2012



architectural services
 PO Box 50, Civic Centre,
 Seven Stars, Gifford, Widdows EN1 3XA
 Tel: 020 8379 6700

PROJECT NO:	D/E260/003369/AL(0)04
DATE:	May 2012
SCALE:	1:200 @ A1
PROJECT:	Raynham Primary School Music Room 2012
DESIGNER:	Architectural Services
PLANNING:	Planning
REVISION:	A

This page is intentionally left blank

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 24th July 2012

Report of

Assistant Director, Planning &
Environmental Protection

Contact Officer:

Aled Richards Tel: 020 8379 3857
Andy Higham Tel: 020 8379 3848
Mr S. Newton Tel: 020 8379 3851

Ward: Highlands

Application Number : TP/11/1602

Category: Dwellings

LOCATION: 1, HANSART WAY, ENFIELD, EN2 8NB

PROPOSAL: Construction of fourth floor to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.

Applicant Name & Address:

Robert Nicholas,
Nicon Developments
NICON HOUSE,
43-45, SILVER STREET,
ENFIELD,
EN1 3TN

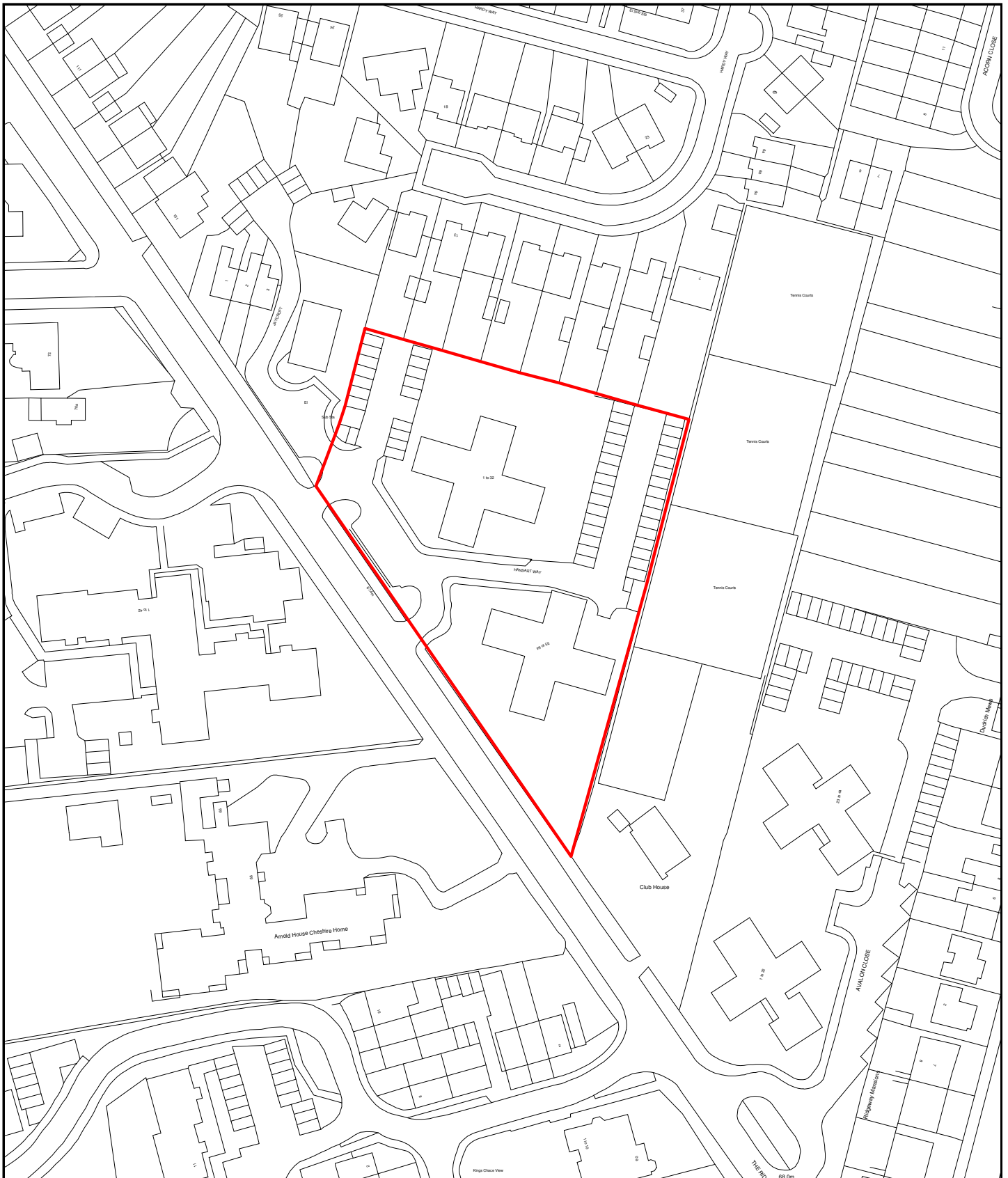
Agent Name & Address:

RECOMMENDATION:

That upon completion of the S.106 agreement, the Head of Development Services / Planning Decisions Manager be authorised to **GRANT** planning permission subject to conditions.

Note for Members:

At the meeting of Planning Committee on 26th June, it was resolved to defer consideration of the proposed development pending a member site visit. The application is reported back to Planning Committee following the site visit on Saturday 21st July



Development Control



Scale - 1:1250
Time of plot: 11:44

Date of plot: 13/06/2012

1. Site and Surroundings

- 1.1 The application site comprises two 4-storey buildings located on the northern side of The Ridgeway. Each building currently contains 32no. 1-bed units. Within the site, adjacent to the eastern and western boundaries respectively are two areas of garage parking, although some of these are currently rented out to non-residents.
- 1.2 Within the site are a number of trees, however only three, located near the road frontage, are protected by a Preservation Order.
- 1.3 Immediately north-west are flats that make up Nos.6-12 Jaycroft, a 2-storey detached building with rooms in the roof. Beyond these are Nos.1-3 Jaycroft. These properties share a common access off The Ridgeway with the application site.
- 1.4 Immediately to the east is the Enfield Lawn Tennis Club. Beyond the tennis club are two similar-styled buildings to those on the application site, Nos.1-44 Avalon Close.
- 1.5 Immediately north are the dwellings that front Hardy Way, a residential cul de sac. Hardy Way comprises semi-detached and detached bungalows (predominantly on the southern side of the street) with some two storey dwellings on its northern side. On the southern side of the street, Nos.7-14 (consecutively) have their rear boundaries directly abutting the application site.
- 1.6 On the opposite of The Ridgeway, on the return frontage with Woodridge Close, is a 2/3 storey flat development. Immediately to the south of this is Arnold House, a predominantly 2-storey development. The surrounding area is residential, containing a variety of dwelling types and styles, including purpose built flats.
- 1.7 The site is within an area with a public transport accessibility level (PTAL) of 1b to 2.

2. Proposal

- 2.1 Planning permission is sought for the construction of a fifth floor to each block to provide a total of 8 self contained flats (4 to each of the two blocks) comprising 2 x 3-bed and 2 x 2-bed, with balconies to front side and rear and an external supporting structure with solar panels and rainwater harvesting system.
- 2.2 Each of the units for both blocks will provide the following accommodation:
 - Unit 1: 3-bed unit with 97sqm of floor space;
 - Unit 2: 2-bed unit with 97sqm of floor space;
 - Unit 3: 2-bed unit with 99sqm of floor space; and
 - Unit 4: 3-bed unit with 99sqm of floor space.

2.3 Since the submission of the application, revised plans have been received with the following amendments:

- Removal of raised embankment and amphitheatre adjacent to properties on Hardy Way (Nos. 8-12 consecutively);
- Revised parking layout - including the provision of all existing and proposed parking spaces / garages for the residents of the two blocks;
- Revised location for the bin stores;
- Privacy screens to be provided for proposed balconies.

3. Relevant Planning Decisions

3.1 None relevant.

4. Consultations

4.1 Statutory and non-statutory consultees

Traffic & Transportation

4.1.1 It has been advised that there are no objections.

Thames Water

4.1.2 It has been advised that in relation to sewerage and water infrastructure, there are no objections.

4.1.3 Any additional comments received will be reported at Committee.

4.2 Public

4.2.1 Twenty five letters of objection have been received from residents within the two blocks and surrounding properties,. Furthermore, an additional six letters have been received following the re-notification to neighbours of amended plans. All or some of the following points have been raised by the objectors:

Impact on amenity

- Additional floor will be an even greater eyesore.
- Loss of light to residents of Hardy Way.
- If permission is granted, thought should be given to how the privacy of residents of Hardy Way is not compromised, including those on the northern side of the street (Nos.17-23 consecutively).
- Loss of privacy for Hardy Way residents if trees are removed.
- Additional noise from people waiting for lifts.
- Noise from the operation of the lift.
- Noise and disturbance throughout the construction process.
- Significant loss of garden area.
- Residents on the southern side of Hardy Way are already overlooked. An additional floor will add to this, particularly during the autumn / winter months.
- Greater loss of privacy from an additional floor.
- Proposed external structural supports will obstruct existing windows and cast shadows over those windows.

Impact on character of area

- A number of trees are to be removed. Removal will affect the outlook for residents as well as making the building look more imposing in the surrounding area.
- The steel frames and structures are not aesthetically pleasing.
- Overdevelopment of the site as the overall impression is much less spacious and considerably more congested.
- When driving into Hardy Way, outlook will be affected.
- Overly obtrusive.
- A higher block than other three / four storey developments would alter the character of The Ridgeway.
- The skyline will be dominated by an additional level.

Highways / Transportation issues

- Insufficient parking provision, particularly as a number of garages are rented to non-residents of the two blocks.
- Inappropriate siting of refuse bins on The Ridgeway frontage.
- Insufficient refuse storage capacity (the Management Company has a contract with LBE Waste Services for 8 x 940ltr refuse bins and 4 x 1280ltr recycle bins).
- It is understood that LBE Waste Services is implementing food waste bins for flats but no provision is made for this.
- One of the new spaces (No.17) is not viable as it is tucked away into a corner and would only seem suitable for a small vehicle.
- No visitor spaces are proposed.
- What are the plans for access (residents and construction workers) during construction?
- What is the site plan for the accommodation of construction workers?
- What are the proposed construction hours?
- Will existing flats become uninhabitable during construction?

Biodiversity issues

- A significant loss of greenery.

Other issues

- Plans state that existing footings are 'barely adequate to support the existing building'. Concerned therefore about the proposed works on the existing structure. What if something goes wrong?
- Devaluation of existing property values within the block and of surrounding properties.
- Have always been concerned about limited escape routes from the building. I can not see my concerns being addressed.
- Service charges will increase mainly as a result of a lift being installed. The assumption is therefore that the lifts are only being installed to accommodate the new flats yet all of the flats will bear the cost.
- Flat Leases stress conformity throughout the existing development, yet this will be completely ignored, for example, the landlords are allowing flat owners to choose whether they take up the opportunity of

access to balconies or not. This will result in some flats having windows on their balconies and others doors. The landlords should be made to install doors onto the balconies.

- All existing flats will be provided with a balcony with no means of safe access to it from the flats, therefore how will they be cleaned.
- Obvious that the landlords have gone out of their way to include Energy Saving techniques but these apply to the new flats only. The techniques should also apply to the existing flats.
- Plans show no consideration towards existing TV aerials.
- Additional families will put a strain on existing infrastructure.

4.2.2 Councillor Vince objects to the application on grounds of overdevelopment, access and traffic.

4.3 Petition

4.3.1 A 28-signature petition against the development has also been received

5. **Relevant Policy**

5.1 Local Plan

CP2: Housing supply and locations for new homes

CP3: Affordable housing

CP4: Housing quality

CP5: Housing types

CP20: Sustainable energy use and energy infrastructure

CP21: Delivering sustainable water supply, drainage and sewerage infrastructure

CP22: Delivering sustainable waste management

CP25 Pedestrians and cyclists

CP26: Public transport

CP30: Maintaining and improving the quality of the built and open environment

CP32: Pollution

CP36: Biodiversity

CP46: Infrastructure contributions

5.2 Saved UDP Policies

(II)GD3 Aesthetics and functional design

(II)GD6 Traffic

(II)GD8 Site access and servicing

(II)H8 Privacy

(II)H9 Amenity Space

(II)T16 Adequate access for pedestrians and people with disabilities

(II)T19 Needs and safety of cyclist

5.3 The London Plan

Policy 3.3 Increasing housing supply

Policy 3.4 Optimising housing potential

Policy 3.5 Quality and design of housing developments

- Policy 3.6 Children and young people's play and informal recreation facilities
- Policy 3.8 Housing choice
- Policy 3.9 Mixed and balanced communities
- Policy 3.11 Affordable housing targets
- Policy 3.12 Negotiating affordable housing
- Policy 3.13 Affordable housing thresholds
- Policy 3.14 Existing housing
- Policy 5.1 Climate change mitigation
- Policy 5.2 Minimising carbon dioxide emissions
- Policy 5.3 Sustainable design and construction
- Policy 5.5 Decentralised energy networks
- Policy 5.6 Decentralised energy in development proposals
- Policy 5.7 Renewable energy
- Policy 5.8 Innovative energy technologies
- Policy 5.9 Overheating and cooling
- Policy 5.10 Urban greening
- Policy 5.11 Green roofs and development site environs
- Policy 5.13 Sustainable drainage
- Policy 5.14 Water quality and wastewater infrastructure
- Policy 6.3 Assessing the effects of development on transport capacity
- Policy 6.9 Cycling
- Policy 6.12 Road network capacity
- Policy 6.13 Parking
- Policy 7.1 Building London's neighbourhoods and communities
- Policy 7.2 An inclusive environment
- Policy 7.3 Designing out crime
- Policy 7.4 Local character
- Policy 7.6 Architecture
- Policy 7.14 Improving air quality
- Policy 7.15 Reducing noise and enhancing soundscapes
- Policy 7.19 Biodiversity and access to nature

5.4 Other Relevant Policy Documents

National Planning Policy Framework (NPPF)

Enfield Strategic Housing Market Assessment (2010)

Section 106 Supplementary Planning Document (Nov 2011)

Report on Location of Tall Buildings and Important Local Views in Enfield (March 2012),

6. **Analysis**

6.1 Principle

6.1.1 The principle of additional accommodation is accepted as the area is residential in character. The acceptability of the scheme however, will be determined on the impact of the development on the character of the surrounding area and the impact on neighbouring residential occupiers.

6.1.2 The National Planning Policy Framework (NPPF) advises that in relation to housing applications, there is an overarching presumption in favour of sustainable development. It also places great importance in achieving good design in all schemes.

6.2 Impact on Character of Surrounding Area

Density

6.2.1 The site falls within an area with a PTAL (Public Transport Accessibility Level) rating of 1b to 2 (Table 3.2), thereby suggesting that an appropriate level of density is 150-250hrph or 50-95uph. The site area is 0.5922ha and there are currently 64 units and a total of 128 habitable rooms. This provides an existing density level of 216 habitable rooms per hectare (hrph) or 108 units per hectare (uph).

6.2.2 Whilst there is only an increase of 8 units (36 additional habitable rooms), there will be a total provision of 72 units, equating to 276.9hrph or 121uph. Although the proposed density ranges exceed the suggested range, it is necessary to compare the proposed development with those in the vicinity because acceptability will be influenced by more than a numeric assessment but must have regard to the character and appearance of the locality within which it is located thereby acknowledging the NPPF and the London Plan, which encourage greater flexibility in the application of policies to promote the most efficient use of land, although they must also result in a development form appropriate for the area:

- Nos.1-44 Avalon Close: 116uph
- Nos.1-42 Woodridge Close: 85.7uph
- Nos.5-27 Capstan Close: 193uph
- Nos.1-10 Kings Chase View: 89uph
- Nos.1-139 Dunraven Drive: 260uph

6.2.3 The above demonstrates that there is a range of density levels in the vicinity and on balance it is considered that the proposed density level is not inappropriate and would deliver an acceptable form of development compatible with the character of the surrounding area subject to the attainment of an acceptable form, appearance, and impact on neighbouring occupiers.

Amenity Space

6.2.4 Appendix A1.7 of the Unitary Development Plan requires that the amenity space provision for flats should be of an area equal to 75% of the gross internal area (GIA) of the building, of which no more than 15% should be provided in the form of balconies and roof terraces. Amenity space should provide a visual setting for the development within the general street scene as well as an area for passive or active recreation.

6.2.5 The combined gross internal area (GIA) of the proposed buildings is approximately 4188sqm. The amenity space provision has been calculated as being approximately 3200sqm or approximately 77% of the GIA, thereby exceeding adopted standards. In addition, there is sufficient provision retained immediately around and to the front of the buildings to provide an acceptable setting within the street scene.

Design / Height / Massing / Proximity to Boundaries/ Scale

- 6.2.6 The design of the two blocks is typical of its era (1960s) and similar in appearance to Nos. 1-44 Avalon Close and Nos.1-139 Dunraven Drive. The proposed articulation of the roof through angled roof planes will provide some visual interest to the two buildings and it is noted that the design would appear more lightweight than the more traditional pitched roofs or mansard roofs typical on some developments. To enable the proposed floor to appear as part of the original build, it is proposed that the external façade of both buildings will be rendered to match. These elements are considered acceptable.
- 6.2.7 The height of the buildings will obviously increase, by an additional 4.2m to approximately 15.4m. Consequently, it will result in a development that would be taller than the majority of buildings in the vicinity and one that will be visible above the existing tree line. This is considered to be not unacceptable in principle. The Report on Location of Tall Buildings and Important Local Views in Enfield (March 2012), defines a tall building as “those that are substantially taller than their surroundings, cause a significant change to the skyline or are larger than the threshold sizes set for the referral of planning applications to the Mayor” (para.1.2). The proposed development, at 5-storeys, will be much taller than the buildings immediately adjacent to the site, would appear above the tree line and therefore have an impact on the skyline. It would not however, be of a scale that would trigger a Mayoral referral.
- 6.2.8 The Report confirms at paragraph 6.2 that buildings taller than their surrounds can affect an existing street view, although a well designed and appropriately located tall building can positively enhance the townscape. It does not however, identify the site or the immediate surrounds as being one that is inappropriate for tall buildings or one that would impact upon important local views.
- 6.2.9 The existing building is visible above the tree line, as demonstrated in photos submitted by one objector, and the design of the existing buildings and the flat roof seen at or above the tree line level does not enhance the townscape. The buildings and their visual impact are accepted because they have been in place since the 1960s. Although the proposed floor will be more visible, it is considered that the overall design, in particular the articulated roof design, will provide the necessary visual interest to the buildings and will serve to enhance the townscape.

6.3 Impact on Neighbouring Properties

Overlooking / Loss of Privacy

- 6.3.1 Each of the eight additional units will be provided with a balcony and a terrace that will project 1m from the external face of the building, and the positioning of these will determine the potential impact on neighbouring properties.
- 6.3.2 The residents on the southern side of Hardy Way (Nos.7-14 consecutively) are potentially the most affected by the proposed development as they are the nearest residential properties to the application site. In considering any potential impact, regard must be given to the existing situation which has exposed landing areas for the units at the end of the wings of the respective blocks, and whether the proposed scheme will result in a materially worse situation than existing.

- 6.3.3 The dwellings on the northern side of Hardy Way are too distant from the application site (minimum of 65m) to be detrimentally impacted upon in terms of overlooking and loss of privacy.

Units 1-32:

- 6.3.4 The terrace and balcony serving Unit 1 will face east toward the tennis courts (approximately 38m distant). Overlooking in this direction is considered not to be an issue because of the presence of the tennis courts. Additionally, the distance to the boundary would not prejudice any future potential development of the tennis courts. It is also noted that the plans are annotated to show a glazed privacy screen on the flank of the terrace to prevent any north facing views. A condition would be imposed on any approval to secure the privacy screen. It should also be noted that on this wing of the building, the exposed landing for the floors below face west with oblique views towards Jaycroft.
- 6.3.5 The balcony and terrace serving Unit 2 will face towards Nos.11, 12 & 13 Hardy Way but with oblique views towards Nos.11 & 13. There would be a distance of 17m from the end of these structures to the rear boundary of the aforementioned properties and a further 18m to the rear wall of those dwellings. Whilst the structures will be 1m nearer than any facing window, it is again considered that the potential impact is not materially greater than the existing situation. It is again noted that a glazed privacy screen is proposed, on the flank of the terrace. A condition will be imposed to secure this. It is noted that the exposed landing faces both south and west to the Ridgeway.
- 6.3.6 The terraces and balconies proposed for Units 3 & 4 are considered to not have any impact on neighbouring occupiers. This is because Unit 3 will be facing west towards The Ridgeway with long views over part of the parking area. Unit 4 will face south towards the adjacent block (Units 33-64), however there will be a distance of approximately 24m taken from the end of the terrace. This is not materially worse than existing facing windows. It is noted that the exposed landing on the respective wings face east and north respectively.
- 6.3.7 On balance, it is considered that the proposed terraces and balconies for the propose flats above Units 1-32, subject to the securing of glazed privacy screening, would not lead to any greater potential for overlooking and loss of privacy than currently exists. Views from balconies and terraces at higher levels tend to be longer views, that is, over the roof of dwellings than directly down because of the need to lean out and over to look down. Notwithstanding this, glazed privacy screens, as discussed, will be secured by condition. It is therefore considered that this element is acceptable.

Units 33-64:

- 6.3.8 Although each of the additional units above this block will be provided with an external balcony and terrace with the same orientation as described above in paragraphs 6.3.5-6.3.6, it is considered that due to the siting of this block in relation to neighbouring properties, there will not be any detrimental harm in terms of loss of privacy.
- 6.3.9 The developer has also confirmed that the proposal no longer includes the provision of balconies for the existing units.

Loss of Light / Overshadowing / Outlook

- 6.3.10 The additional height of the buildings, in particular Nos.1-32, will have some impact on light and overshadowing of the properties fronting Hardy Way which directly abut the site. A shadow-effect study has been provided to illustrate the impact of the existing development and the potential impact of the proposed development, with the analysis undertaken for 12pm on December 21st and January 21st.
- 6.3.11 The analysis demonstrates that on December 21st, Nos.9-13 and the east flank elevation of No.14 Hardy Way are currently impacted upon by the existing development. The shadow effect of the trees / tall hedging along the common boundary with the aforementioned properties extends over those dwellings and midway into the centre of the road. The shadow cast by the building can be seen to extend midway up the rear elevation of No.12. By January 21st, the impact is lessened, with the extent of the shadow creep from the vegetation extending to just beyond the front elevation of those dwellings. The impact from the building is similarly reduced as the shadow falls approximately 2m short of the rear elevation of No.12.
- 6.3.12 In relation to the proposed scheme, the additional floor would, on December 21st, cast a shadow onto the roofs of Nos.12 & 13 and can also be seen to extend into the garden of No.14 and part way up the rear elevation of that dwelling. On January 21st the impact is again reduced, however the shadow does extend to nearly the full height of the rear elevations of Nos.12 & 13 and into the garden of No.14.
- 6.3.13 Whilst the study demonstrates that there will be a minor increase in overshadowing that would be directly attributable to the proposed development, it should be noted that during the winter months, the majority of the time is spent indoors. It should also be noted that the majority of the impact from overshadowing, both existing and proposed, is attributable to the existing boundary vegetation. During the summer months the amount of shadow creep into the gardens that would be directly attributable to the proposed additional floor is negligible and would not be expected to spill beyond the site boundary. The main impact from any shadowing would be from the boundary vegetation.
- 6.3.14 Although finely balanced, it is considered that the additional impact of the reach of the shadow through the increase in height of the building, would, in the winter time, not be sufficient to warrant refusal of the planning application.
- 6.3.15 In relation to a loss of outlook, for those residents nearest the building, any further loss of outlook is not significantly greater than the impact of the existing building. For those further away, such as for residents on the northern side of Hardy Way, there will be a greater impact because the building will appear more prominently above the tree line. However, any perceived loss is diminished through the distances between the developments and for reasons discussed at paragraphs 2.6.7 to 2.6.9 of this report, a taller building is not unacceptable in this location and the design will enhance the appearance of the building.

6.4 Highway Safety

Traffic generation / Parking

- 6.4.1 One of the key issues is with parking provision. Data from parking surveys reveal that the demand for parking on site is very high, with instances of unsafe and illegal parking (parking on double yellow lines / on pedestrian footways, causing obstruction for pedestrians and other vehicles). The surveys show that the average figure for on-site parking, excluding garages is 180%, meaning that parking is over the saturation point and any existing provision exceeds the demand.
- 6.4.2 Whilst any increase in the number of units on site will potentially exacerbate the current situation, a developer is only required to ensure that there is sufficient provision for the proposed units. In this regard, to comply with standards contained in the London Plan, a maximum of 10 spaces would be required.
- 6.4.3 Submitted plans propose to overcome the concern over a lack of parking by formalising parking on site, creating additional parking spaces and providing all of the existing and proposed parking spaces for the benefit of the occupiers of the two buildings.
- 6.4.4 In total, there will be 79 parking spaces, including 2 disability bays, available for the 72 units. This level of provision exceeds what the developer could justifiably be asked to provide in relation to this application, as discussed in paragraph 6.2 of this report, and would also exceed London Plan requirements if those standards had also been applied to the existing units. While the proposal will now provide an overprovision of parking spaces, when assessed against standards, the level proposed is considered acceptable on balance, given the low PTAL of the site. It is however recommended that the details of the site parking management plan be secured by an appropriately worded condition or provisions are made within the S106 agreement to secure the existing and proposed parking spaces for the sole use of the occupiers of the two blocks. In addition, 20% of proposed new spaces must have electric charging points, with a further 20% for future adaptability.
- 6.4.5 Currently there is no provision for cycle parking on site. The development proposes 44no. secure and covered cycle parking spaces, located in two separate enclosures conveniently located close to the main entrance to the buildings. Again, the developer would only need to make provision for the proposed units, however any additional accommodation for the existing units is welcomed and details of the design and appearance will be secured by a condition.

Access

- 6.4.6 The development proposal will utilise the existing vehicular crossovers directly from The Ridgeway, in addition to providing a new access point near to the south east corner of the site leading to a new parking area for 9 vehicles. Whilst the distancing between both rows of parking spaces complies with the minimum requirement of 6m, a turning head is also provided to ensure that users are able to exit this parking area in a forwards gear. This new access is acceptable in principle provided that adequate sightlines can be secured. Details will be secured by a condition.

- 6.4.7 There is a concern with the proposed new five parking spaces located in front of units 33-64 encroaching onto the public highway. There are also existing lamp columns at the rear of parking space nos.11 and 17 which would need to be removed / re-positioned. Part of this land would also require a stopping up order or the layout should be altered to reflect that the land is adopted.
- 6.4.8 It is noted that the proposed development will increase footfall on the existing footways within the site. However some of the pedestrian routes into and through the site appear substandard in terms of width. In accordance with the guidance set out within the Department for Transport's Inclusive Mobility Guidance document, all shared/communal footpaths into and through the site should aim for 2.0m width, although 1.5m is accepted as a minimum. A condition is suggested to seek details of proposed pathways that comply with adopted standards.
- 6.4.9 Internally, a lift will be provided, accessible for all levels. This is welcomed because of the ease of access it will provide for all users and occupiers of the upper floors. Details of the plant and machinery required will be subject to a condition to ensure an appropriate siting and to protect the amenities of the occupiers of the units in terms of noise disturbance.

Servicing

- 6.4.10 Servicing would only need to be provided for the additional units, however the developer is proposing to increase refuse storage for all occupiers. An additional bin store will be provided between the two blocks, adjacent to parking bays 512 and 513. Details of the design of the refuse enclosure and its vegetated screening will be secured by condition.

6.5 Housing Mix and Affordable Housing

- 6.5.1 The Strategic Housing Market Assessment demonstrates a shortage of houses of all sizes, particularly houses with three or more bedrooms across all sectors of the market.
- 6.5.2 Core Policy 3 of the Core Strategy confirms that there is a borough-wide target of 40% affordable housing units in new developments capable of accommodating ten or more units. On developments of less than ten units, the policy also confirms that an assessment will be made on the level of contribution towards off-site affordable housing. On such schemes, the Council will seek to achieve a financial contribution based on a borough-wide target of 20% affordable housing. Core Policy 5 advises of the ratio that should be achieved for market housing.
- 6.5.2 The scheme is for 100% market housing and will provide 4x 3-bed units and 4x 2-bed units. Applying the formula within the SPD, the development should be contributing £174,929.26. The applicant considers that the full level of contribution or the on-site provision of affordable housing would render the scheme unviable but through negotiation has offered an initial sum of £100,000.00 towards off site affordable housing provision, to be secured through a S.106 legal agreement.
- 6.5.3 Having regard to the sum offered and also to the developers' assertion that an onsite contribution would render the scheme unviable, it is considered that on balance, the in-lieu payment should be accepted as the scheme would

provide a net increase of eight new family-sized units within the Borough. However, it is recommended that the S.106 legal agreement include a mechanism to enable the sum to be reviewed.

- 6.5.4 It is considered that having regard to the proposed mix, which includes four 3-bed units, a type of unit that is in particular demand within the Borough, and having regard to the sum to be secured for off-site affordable housing provision, the scheme would prove difficult to resist on this element.

6.6 Sustainable Design and Construction

Lifetime Homes

- 6.6.1 The London Plan and Core Strategy confirm that all new housing is to be built to Lifetime Homes' standards. This is to enable a cost-effective way of providing adaptable homes that are able to be adapted to meet changing needs. A condition is suggested to seek details of how the scheme will be constructed to Lifetime Homes' standards.

BREEAM

- 6.6.4 The Design Stage Pre-assessment Report indicates that the scheme will be able to achieve the minimum level 3 rating. This rating would be considered satisfactory but conditions are recommended to ensure that a design Stage and Post-assessment reports is submitted to demonstrate this.

Energy / Energy efficiency

- 6.6.5 The London Plan adopts a presumption that all developments will meet carbon dioxide emission reductions that will improve upon 2010 Building Regulations. The scheme appears to be demonstrating that it can meet with the necessary reductions, and a condition is therefore suggested to secure this.

Renewable energy

- 6.6.7 Several renewable energy technologies have been evaluated for the scheme, with PV panels mounted on 30-degree frames being the favoured option. The roof surface of each block provides sufficient space to accommodate the required number of PV panels. A condition is suggested to ensure that the scheme achieves the renewable energy targets of the London Plan and Core Strategy.

Drainage

- 6.6.8 The applicant has indicated that a rain water harvesting system will be provided. A condition is proposed to secure drainage details, including the potential use of SUDs.

Ecology / Biodiversity

- 6.6.9 A tree survey and a constraints plan have been submitted with the application, which has been detailed to the appropriate standard and undertaken by an appropriately qualified person. The purpose of these documents is to identify the trees on the site, to categorise them according to

their quality and value (whether individually or as a group), and to inform the design process towards the preparation of an arboriculturally defensible scheme. Should the scheme be granted planning permission, a condition would be imposed to seek details of an Arboricultural Implication Assessment and a Method Statement to specify how trees will be protected during the course of the development.

6.6.10 Concerns have been expressed over the loss of some trees, as shown on the submitted plans. It should be noted that the final landscaping details will be secured by condition. This would take into account the need to provide new plantings to replace trees lost in relation to the new parking area on the south-east corner of the site and to also strengthen boundary screening along the common boundary shared with those properties fronting Hardy Way.

6.6.11 The above will contribute to enhancing the ecological value of the site, as would the provision of bird and bat boxes, in accordance with CP 36 of the Core Strategy.

6.7 Education

6.7.1 Contributions towards education provision are set in the S106 SPD. The scheme would be required to contribute £45,159.72, which the developer has agreed to pay. It is recommended that this sum is secured through a S106 legal agreement.

6.7 S106

6.7.1 A Section 106 Agreement is recommended to secure the following:

1. £100,000 contribution towards off-site affordable housing provision in the Borough with a review mechanism on the sale of 50% of the units and a further review on the sale of the second to last unit.
2. £45,159.72 towards education provision.
3. The provision of all proposed and existing parking spaces for the sole use of residents of the two blocks.

7 **Other Matters**

7.1 The impact of a development on property values and service charges are not material planning consideration.

7.2 Structural concerns are a matter for compliance with building regulations.

7.3 As advised above, the provision of balconies for the exiting units does not form part of the scheme under consideration.

8. **Conclusion**

8.1 The additional floor will make the buildings more visually prominent, however the design of the additional floor and roof is considered more visually appealing than the existing flat-roofed structures.

8.2 There is a presumption in favour of sustainable housing developments. The proposal achieves a more efficient use of the land whilst providing a development that through conditions, will also contribute to environmental improvements.

- 8.3 In terms of servicing and parking provision, the developer is only required to ensure that the new units comply with adopted standards. The developer is however, also making provision for the existing units.
- 8.4 In light of the above, it is considered that on balance, planning permission should be granted for the following reasons:
1. The proposed development would contribute to increasing London's supply of housing and assist in meeting with the provision of family housing within the Borough, having regard to Core Polices 2 and 4 of the Core Strategy, Policies 3.3 & 3.4 of The London Plan.
 2. The proposed development due to its design, size and siting, does not detract from the character and appearance of the street scene or the surrounding area having regard to Policy (II)GD3 of the Unitary Development Plan, Core Policy 30, Policies 3.5, 7.1, 7.4 & 7.6 of the London Plan and national guidance contained within the National Planning Policy Framework.
 3. The proposed development due to its design, siting and by virtue of conditions proposed, will not significantly impact on the existing amenities of the occupiers of adjoining properties in terms of loss of light, outlook or privacy and in this respect complies with Policies (II)GD3 and (II)H8 of the Unitary Development Plan, Core Policy 30, Policy 7.6 of the London Plan and with national guidance contained within the National Planning Policy Framework.
 4. The proposal makes appropriate provision for servicing, access and parking, including cycle parking, and in this respect complies with Policies (II)GD6, (II)GD8 and (II)T19 of the Unitary Development Plan, Policies 6.3, 6.9, 6.12 & 6.13 of the London Plan and with national guidance contained within the National Planning Policy Framework.
 5. The proposed development, by virtue of measures proposed and conditions imposed, will contribute to the mitigation of and adaptation to climate change, having regard to Core Policy 32, and with Policies 5.1, 5.2, 5.3, 5.7, 5.8, 5.9, 5.10 & 5.13 of the London Plan, and with national guidance contained within the National Planning Policy Framework.

9. Recommendation

- 9.1 That upon completion of the S.106 agreement, the Head of Development Services / Planning Decisions Manager be authorised to grant planning permission subject to the following conditions:
1. C60 Approved Plans
 2. C04 Details of Development - Access
 3. C07 Details of Materials
 4. C09 Details of Hard Surfacing
The development shall not commence until details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings have been submitted to and approved in writing by the Local Planning Authority. Where in close proximity to retained trees, the surfacing and tree root

protection measures shall be carried out in accordance with measures to be agreed with, in writing, by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance and to ensure that the method of construction of hard surfaced areas does not adversely affect the health of the trees.

- 5. C10 Detail of Levels
- 6. C11 Details of Enclosure
- 7. C12 Parking / Turning Facilities

Unless required by any other condition attached to this permission, the parking and turning areas shall be laid out as shown on Drawing No.896.01.01 Rev.M and permanently retained for such purposes unless otherwise approved in writing by the Local planning Authority.

Reason: To ensure that parking and turning facilities are in accordance with adopted standards.

- 8. C14 Details of Access and Junction
- 9. C15 Private Vehicles Only – Garages
- 10. C16 Private Vehicles Only – Parking Areas
- 11. C17 Details of Landscaping

No works or development shall take place until full details of both hard and soft landscape proposals have been submitted to and approved by the Local Planning Authority. Soft landscape details shall include:

- a. Planting plans
- b. Written specifications (including cultivation and other operations associated with plant and grass establishment)
- c. Schedules of plants and trees, to include native and wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities)
- d. Implementation timetables.
- e. Wildlife friendly plants and trees of local or national provenance
- f. Biodiversity enhancements, bird and bat boxes built into or on and around the new buildings
- g. Specifications for any fencing demonstrating how hedgehogs and other wildlife will be able to continue to travel across the site (gaps in appropriate places at the bottom of the fences)

Reason: To ensure the provision of amenity, and biodiversity enhancements, afforded by appropriate landscape design in accordance with adopted policy, and to ensure highway safety.

- 12. C18 Details of Tree Protection

No works or development shall take place until a scheme for the protection of the retained trees, written by an appropriately qualified person, has been agreed in writing with the Local Planning Authority. This scheme shall also include:

- a. the details of the working methods to be employed for the installation of parking bays, drives and paths within the Root Protection Area's of retained trees in accordance with the principles of "No-Dig" construction.

Reason: To ensure that the retained trees, shrubs and hedgerows on the site are not adversely affected by any aspect of the development, having regard to Core Policies 30 and 36 of the Core Strategy.

13. NSC1 Retained Trees

In this condition a “retained tree” is an existing tree which is to be retained in accordance with the approved plans and particulars and any recommendations therein that have been submitted to and approved in writing by the Local Planning Authority; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the occupation of the building approved development.

(a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be pruned in any manner, be it branches, stems or roots, other than in accordance with the approved plans and particulars, without the prior written approval of the Local Planning Authority. All tree works shall be carried out in accordance with BS 3998.

(b) If any retained tree is cut down, uprooted, destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity.

14. C19 Details of Refuse Storage & Recycling Facilities

15. NSC2 Energy

Energy efficiency savings shall be undertaken in accordance with the recommendations of the revised Energy Statement (May 2012), unless otherwise approved in writing by the Local Planning Authority.

Reason: To demonstrate that the scheme will comply with the energy efficiency and sustainable development policy requirements of the London Plan and the Core Strategy.

16. NSC3 Electric Charging Points

That prior to development commencing, the details, including siting, of the electric charging points to be provided for the basement parking spaces in each block as annotated on Drawing No.08 554 01E shall be provided to the Local Planning Authority for approval in writing. All electric charging points shall be installed in accordance with the approved details prior to occupation of any of the units.

Reason: To ensure that the development complies with the sustainable development policy requirements of the London Plan.

17. NSC4 Privacy Screens

Privacy screens with an equivalent obscuration of level 3 on the Pilkington Obscuration Range up to a minimum height of 1.7m above finished floor level shall be provided to the fifth floor roof terraces and its extended balcony serving Units 1 & 2 of Block 1-32 as indicated on Drawing Nos.896.01.03 Rev.E, prior to occupation of the units. The privacy screens shall be permanently retained and maintained.

Reason: To safeguard the privacy of the occupiers of adjoining and neighbouring properties.

18. C25 No Additional Fenestration

19. C41 Details of external lighting

20. NSC5 Construction Methodology

That development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

- (i) a photographic condition survey of the roads, footways and verges leading to the site;
- (ii) details of construction access and associated traffic management to the site;
- (iii) arrangements for the loading, unloading and turning of delivery, construction and service vehicles clear of the highway;
- (iv) arrangements for the parking of contractors vehicles;
- (v) arrangements for wheel cleaning;
- (vi) arrangements for the storage of materials;
- (vii) hours of work;
- (viii) A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition';
- (ix) The size and siting of any ancillary buildings.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

21. NSC6 Code for Sustainable Homes 1

Development shall not commence until evidence in the form of a design stage assessment conducted by an accredited Code for Sustainable Homes Assessor and supported by relevant BRE interim certificate, has been provided and approved in writing by the Local Planning Authority. The evidence provided shall confirm that the dwellings can achieve a Code for Sustainable Homes rating of no less than Code Level 3.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior written approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development.

22. NSC7 Code for Sustainable Homes 2

Following the practical completion of the development but prior to first occupation, a post construction assessment, conducted by an

accredited Code for Sustainable Homes Assessor and supported by relevant BRE accreditation certificate, shall be provided to the Local Planning Authority for approval in writing.

Reason: In the interests of addressing climate change and to secure sustainable development.

23. NSC8 Lifetime Homes

Notwithstanding submitted plans and supporting documents, prior to development commencing, details shall be provided to the Local Planning Authority confirming that the scheme will meet with 100% Lifetime Homes' standards, unless otherwise approved in writing by the Local Planning Authority.

Reason: To provide for future adaptability of the housing stock.

24. NSC9 SUDs 1

No development shall take place until an assessment has been carried out into the potential for disposing of surface water by means of a sustainable drainage (SUDS) scheme, in accordance with the principles of sustainable drainage systems set out in national planning policy guidance and statements, and the results of that assessment have been provided to the Local Planning Authority. The assessment shall take into account the design storm period and intensity; methods to delay and control the surface water discharged from the site; and measures to prevent pollution of the receiving groundwater and/or surface waters.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

25. NSC10 SUDs 2

Surface water drainage works shall be carried out in accordance with details that have been submitted to, and approved in writing by, the Local Planning Authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by the above condition, the Local Planning Authority concludes that a SUDS scheme should be implemented, details of the works shall specify:

- (i) a management and maintenance plan, for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and
- (ii) the responsibilities of each party for implementation of the SUDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and adequate maintenance to ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

26. NSC11 Biodiversity Enhancements

No development hereby permitted shall be occupied until a plan showing the location of all key recommendations for ecological enhancements given on p23-p24 and 30% of the additional recommendations given on p24-p25 of the ecological report (Jones & Sons Environmental Sciences Ltd. – dated 7th March 2011) has been submitted to and approved in writing by the Local Planning Authority. The ecological enhancements are to be installed and maintained as per the agreed plan.

Reason: To ensure that the development maintains and enhances biodiversity.

27. NSC12 Ecological Management Plan

All trees and scrub which are suitable for supporting nesting birds are to be cleared outside the bird nesting season (March to August inclusive) or if clearance is to occur during the bird nesting season, areas are to be first surveyed for nesting birds by a suitably qualified ecologist with the results of the survey provided to the Local Planning Authority for approval in writing prior to any clearance commencing.

Reason: To ensure that nesting birds are not adversely affected upon by the proposed development.

28. C59 Cycle Parking

Notwithstanding the approved plans, a revised secure cycle parking plan shall be submitted to the Local Planning Authority, for approval in writing, showing the following:

- a. The details of the design and siting of the cycle spaces within each Block; and
 - b. The number of cycle parking spaces to be provided.
- Cycle parking for the development shall then be provided in accordance with the approved details and permanently retained thereafter.

Reason: To ensure the provision of cycle parking spaces in line with the adopted standards

29. NSC13 Stopping Up Order

The development hereby approved shall not commence until such time as an Order is in place to stop up the public highway part affected by the scheme.

Reason: In order that the development can proceed as per the approved drawings, without prejudice to the existing public highway.

30. NSC14 Details of Lifts

Development shall not commence until details of the proposed lift for each block has been submitted to and approved in writing by the Local Planning Authority. The detail shall include:

- a. The siting of any plant and machinery;
- b. The workings of the plant and machinery; and
- c. Any measures to reduce the impact on the amenity of neighbouring residential occupiers.

Reason: To ensure a satisfactory appearance to the buildings is retained and to protect the amenity of the occupiers of the units near to the proposed lifts.

31. C51A Time Limited Permission

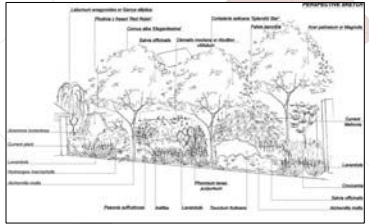
Directive 1: All works to the highway (the creation of a new access, removal of lamp posts) will need to be undertaken by the Council's Highway Services team, and that they should contact the footway crossing helpdesk (020 8379 2211) as soon as possible so the required works can be programmed.

Directive 2: Council requires unobstructed footway visibility starting at 0.6m to 1.0m in height above the footway for a distance of 2.0m horizontal from either edge of the access. This visibility is to be measured from a point 2.0m back from the edge of the footway.

Directive 3: Parts of the highway need to be stopped up before the development can be implemented. The applicant is advised to contact the Traffic & Transportation Service (020 8379 3573 or transportation@enfield.gov.uk) at an early stage to obtain an application form and to discuss the timescale for making the necessary Stopping Up Order.



CAR PARKING SPACES	EXTRA SPACES	CYCLE STORAGE	REFUSE	wheelie bins (recycle)	Eurobins	bottle bins
Bay 1	7	2	Store 1	2	2	
Bay 2	9	2	Store 2		2	
Bay 3	16					
Bay 4	16					
Bay 5	0	2	Total	4	4	
TOTAL EXTG SPACES	48					
PROPOSED						
Bay 2 (1 Disabled)	3		Bin Store		6	7
Bay 5	9					
Bay 7	5					
Bay 9 (1 Disabled)	5					
Bay 11	5					
Bay 11	4					
Increase Spaces	31		Totals	0	6	7
Tot Disabled Spaces	2					
Grand Total Car Spaces	79		AMMENITY SPACE			hard lands
Extra Number of Flats	64		Total grassed area	1744	45	
Increase 2 beds	8		TOTALS	3118	45	
Grand total Flats	72					



Landscaping and planting strengthened with native shrubs and species to combat possible overlooking to occupants on the south side of Hardy Way.

Obscured glazed privacy screens added to top floor flats 1&2

Landscape Strategy

Strengthen existing perimeter planting to combat possible overlooking to occupants on south side of Hardy Way.

Provide hard landscaped amenity areas with stepped amphitheatre type seating areas, for children's playareas and elderly residents accessible to all with lighting and litter bins, etc.

	Existing Tree		Existing Hedge
	Proposed Tree		Existing Laurel Hedge
	Existing Tree		Proposed Laurel Hedge
	Proposed Tree		Proposed Hedge
	Existing Tree		Existing Path
	Proposed Tree		Proposed block path
	Existing Tree		Proposed Hard paving
	Existing Tree		Existing Street Light
	Existing Tree		Street light to be moved
	Existing Tree		New Street Light
	Existing Tree		Existing Pavement
	Existing Tree		Existing Kerbs
	Existing Tree		Existing Timber railing



Accessibility

The main entrances are to have disabled car spaces as close as possible to the entrances with near level access ramps with level threshold into the buildings. Internally, a new lift will access all levels.

Close to the entrance, posts will be provided with push button control of the opening of the main entrance doors.

Bollard lighting is to be provided along all main walkways

-
-
-
-

JAYCROFT

HANSART WAY

THE RIDGEWAY

Scale 1:400

To Enfield



Revisions
 REV 'L1' 3 May 2012 Pavements altered, other minor alterations
 REV 'L1' 2 May 2012 Alter Parking & Footpaths
 REV 'N1' 17 April 2012 Move bin stores, remove bay 8 parking spaces remove on site access to Bay 10 & 11 parking
 3 April 2012 Details of strengthened planting to Hardy Way boundaries, amphitheatre and path removed, flowerbed altered, carpark space 8 added

Proposed Additional Floor at Hansart Way

CLIENT: Nicon Developments

STATUS: Planning

SCALE: A1 @ 1:200 DATE: Aug 2010

Original Scale 1:200 @ A1
 Paper print size 1:400 @ A3

DRAWING TITLE: Proposed Landscaping Plan

DRAWING NO: 896.01.02 REVISION: "L1"

ARCHITECTS: [Logos] BARNES, COLLE

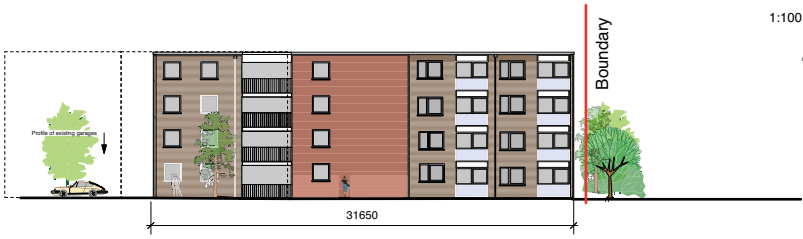
13 Royal Square
 31 Helder, Jersey JE2 4WA
 Telephone 01534 730100
 Facsimile 01534 970805
 e-mail mail@barnes-collearchitects.co.uk



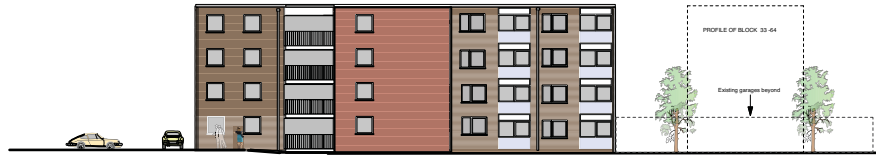
PROJECT	Proposed Additional floor & Extn Balc @ Hansart Way								
CLIENT	Nicon Developments								
STATUS	Planning	DATE	Aug 2010						
SCALE	A1 @ 1:100	DATE	Aug 2010						
DRAWING TITLE	Proposed Elevation to the Ridgeway looking North								
Original Scale	1:100 @ A1								
Paper print size	1:200 @ A3								
DRAWING No.	896.01.08	REVISION	"C"						
ARCHITECTS	<table border="1"> <tr> <td></td> <td>S B S</td> <td>SANNIS</td> </tr> <tr> <td></td> <td>C J</td> <td>COLLIE</td> </tr> </table>				S B S	SANNIS		C J	COLLIE
	S B S	SANNIS							
	C J	COLLIE							
11 Ridge Square, 4th Floor, Tottenham, London N15 2TA Telephone: 0203 751 7288 Fax: 0203 751 7289 www.sbsarchitects.com www.cjarchitects.com									



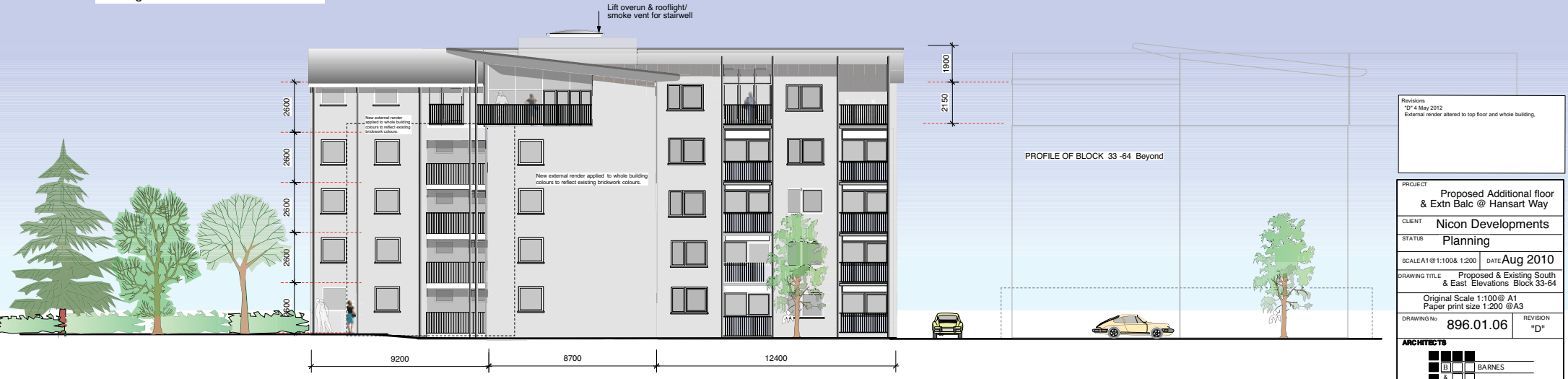
View "A" Proposed South Elevation Flats 33-64



Existing South Elevation Flats 33-64



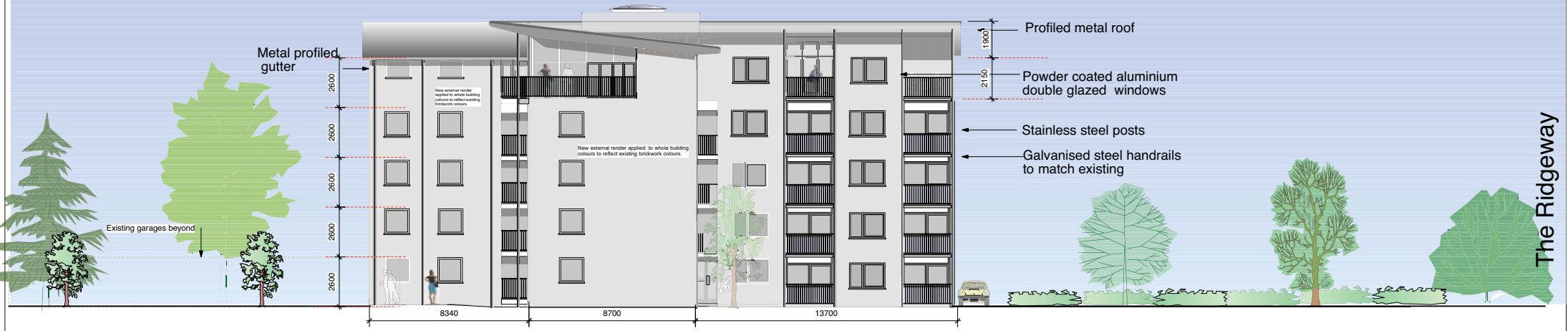
Existing East Elevation Flats 33-64



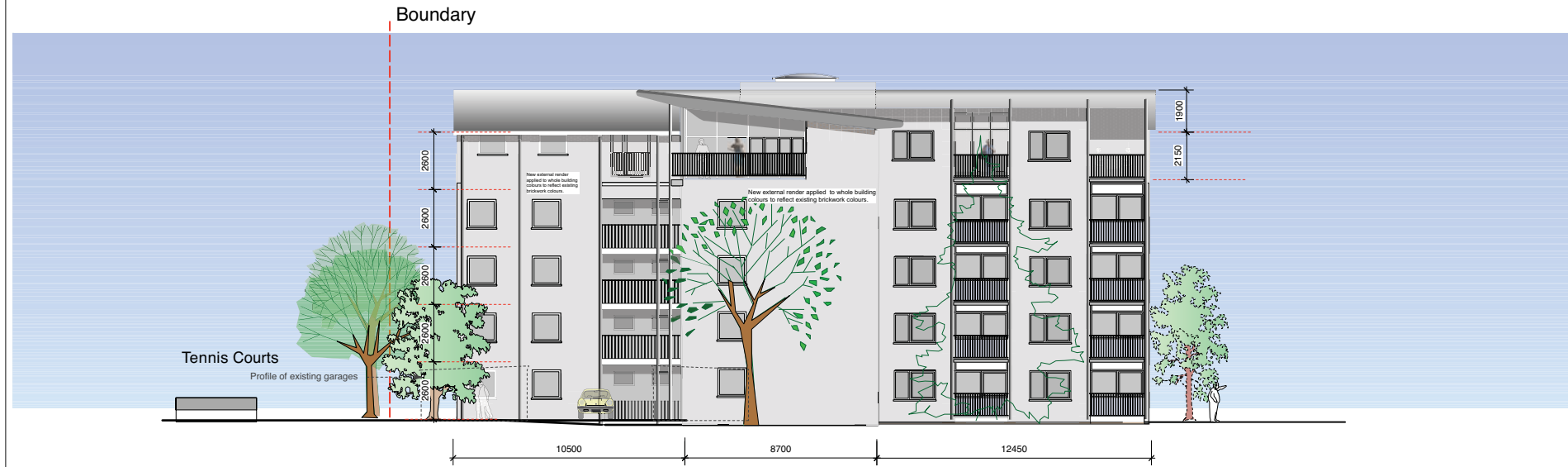
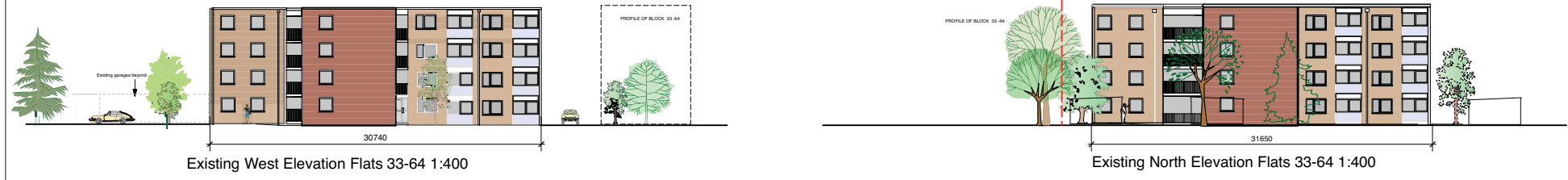
View "B" Proposed East Elevation Flats 33-64



Revisions *D* 4 May 2012 External render altered to top floor and whole building.	
PROJECT Proposed Additional floor & Extn Balc @ Hansart Way	
CLIENT Nicon Developments	
STATUS Planning	
SCALE A1 @ 1:100& 1:200	DATE Aug 2010
DRAWING TITLE Proposed & Existing South & East Elevations Block 33-64	
Original Scale 1:100 @ A1 Paper print size 1:200 @ A3	
DRAWING No 896.01.06	REVISION "D"
ARCHITECTS	
<input type="checkbox"/> BARNES	<input type="checkbox"/> COLLIE
<input type="checkbox"/> S	<input type="checkbox"/> COLLIE
<input type="checkbox"/> C	<input type="checkbox"/> COLLIE
13 Royal Square 33 Royal, Jersey JE2 4WA Telephone 01534 733100	



View "C" Proposed West Elevation Flats 32-64



View "D" Proposed North Elevation Flats 33-64

Revisions
 12th & May 2012
 External render altered to top floor and whole building.

PROJECT
 Proposed Additional floor & Extn Balc @ Hansart Way

CLIENT
 Nicon Developments

STATUS
 Planning

SCALE
 1:100

DATE
 Aug 2010

DRAWING TITLE
 Proposed & Existing North & West Elevations Block 1-32

Original Scale 1:100 @ A1
 Paper print size 1:200 @ A3

DRAWING NO
 896.01.07

REVISION
 D

ARCHITECTS

 BARNES
 COLLIE

15 Royal Basse
 25 Helder Avenue #2-49A
 Telephone 01 534 731100
 Facsimile 01 534 767865
 Email Eileen@barnesandcollie.co.uk

Monthly Decisions on Town Planning Application Appeals

- 1.1 Between the 13th June and the 2nd July 2012, 11 appeals decisions had been received from the Planning Inspectorate. One was withdrawn. The table below confirms how many appeals were upheld and how many were dismissed. Details of each appeal can be viewed on the departmental website.

OVERALL PERFORMANCE

APPEALS RECEIVED	DISMISSED	ALLOWED	WITHDRAWN	PERCENTAGE DISMISSED (Not including Withdrawn)
11	8	2	1	80%

- 1.2 Of the overall number of appeals these have been divided between delegated decisions, i.e those made by officers under the scheme of delegation and committee decisions.

DELEGATED DECISIONS

No. of APPEALS	DISMISSED	ALLOWED	WITHDRAWN	PERCENTAGE DISMISSED (Not including Withdrawn)
11	8	2	1	80 %

COMMITTEE DECISIONS

	No. of APPEALS	DISMISSED	ALLOWED	WITHDRAWN	PERCENTAGE DISMISSED
Refusal as per officer recommendation	0	0	0	0	N/A
Refusal against officer recommendation	0	0	0	0	N/A

